

**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
 Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 12/15/2021 **Map & Parcel** 197/005/197005

**Property Owner** Diocese of Fall River Phone 508 775 5744  
 Street address 4 Parker Rd. W. Barnstable Email KJS@olvparrish.org  
 Village \_\_\_\_\_

Mailing address 230 South Main<sup>ST</sup> Centerville 02632 Signature Gregory A. Mathias

**Agent/Contractor** Fraser Construction Phone (508) 428 2292  
 Agent Address 31 Boyden St Mashpee 02649 Email office@fraserccc.com  
 Agent Signature [Signature]

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

<b>Building Construction</b>	<input type="checkbox"/> New Build	<input type="checkbox"/> Addition	<b>Check all categories that apply</b>	<input type="checkbox"/> Residential	<input type="checkbox"/> Commercial
<b>Type of Building</b>	<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Other
<b>Project</b>	<input checked="" type="checkbox"/> Roof	<input type="checkbox"/> Windows/Doors	<input type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input type="checkbox"/> Other
<b>Landscape Feature</b>	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other
<b>Signs</b>	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other	

**Description of Proposed Work** Remove and replace 3400 sq' of existing slate roof tiles, new shingles will be Architectural Asphalt suggested color Black or colors Available

**DENIED**

	for Committee use only <b>This Certificate is hereby</b> <b>APPROVED</b>
	By a vote of <u>    </u> Aye <u>    </u> Nay <u>    </u> Abstain <u>    </u> Date <u>    </u>
	Members signatures _____
	Conditions of Approval _____



# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY**

Material  Color

**ROOF**

Make & style Wood frame Hip  Color

Roof Pitch (s) – (7/12 minimum) 8/12 - 12/12  Green  Slate    
(specify on plans for new building & major additions)

**GUTTER**

Type/Material  Color

**WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS**

**Window/Door Trim material**

Wood  Other specify

Size of cornerboards  Size of casings (1x4 min)  Color

Rakes 1<sup>st</sup> member  2<sup>nd</sup> Member  Depth of overhang

**Windows:**

Make/Model  Material  Color

**Window Grills**

Divided Light  Exterior Glued Grills  Grills Between Glass   
 Removable Interior Grills  No Grills  Grill Pattern

**Doors:**

Style & Make  Material  Color

**Garage doors:**

Style  Size of opening  Material   
 Color

**Shutters:**

Type & Style  Material  Color

**Skylights:**

Type  Make & Model   
 Material  Size  Color

**SIDING**

Type Clapboard  Shingle  Other    
 Material Red Cedar  White Cedar  Other    
 Paint Color

**FOUNDATION**

Type  (max 12' exposed)

**DECK**

Material  Color

**SIGNS**

Size  Materials  Color

**FENCE**

Type  (split rail, chain link) Color   
 Material  Length

**RETAINING WALL**

Description

**LIGHTING**

Type and location (free standing affixed to structure, illuminated)



# LANDMARK® COLOR PALETTE



Silver Birch



Cobblestone Gray



Colonial Slate



Georgetown Gray



Weathered Wood



Driftwood



Pewterwood



Moire Black



Charcoal Black



Heather Blend



Burnt Sienna



Resawn Shake



Cottage Red



Hunter Green



Atlantic Blue

*NOTE: Due to limitations of printing reproduction, CertainTeed can not guarantee the identical match of the actual product color to the graphic representations throughout this publication.*

**Landmark® Series available in areas shown**



**CertainTeed**

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# LANDMARK<sup>®</sup>

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*Landmark, shown in Weathered Wood*

## A Classic Original

Landmark's dual-layered construction provides depth and dimension, along with extra protection from the elements. Widest array of colors in the industry.

- **NailTrak<sup>®</sup> wider nailing area**  
for a more accurate installation
- **Lifetime limited warranty**
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- **StreakFighter<sup>®</sup> 10-year algae resistance**
- **15-year 110 MPH wind warranty**  
Upgrade to 130 MPH available

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### **Fire Resistance:**

- UL Class A
- UL certified to meet ASTM D3018 Type 1

### **Wind Resistance:**

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

### **Tear Resistance:**

- UL certified to meet ASTM D3462
- CSA standard A123.5

### **Wind Driven Rain Resistance:**

- Miami-Dade Product Control Acceptance

### **Acceptance Quality Standards:**

- ICC-ES-ESR-1389 & ESR-3537

Parcel: 197-005      Location: 4 PARKER ROAD, West Barnstable      Owner: OUR LADY OF GOOD HOPE CHURCH



Parcel  
197-005  
Location  
4 PARKER ROAD  
Village  
West Barnstable  
Town sewer account  
No  
CWMP Sewer Expansion (subject to change with final engineering design)  
None planned at this time

Developer lot:  
Road type  
Town & State  
Fire district  
W Barnstable

Secondary road  
ROUTE 6-A (W.BARN)  
Road index  
1211  
Interactive map



Owner: OUR LADY OF GOOD HOPE CHURCH

Owner OUR LADY OF GOOD HOPE CHURCH	Co-Owner	Book page 0/0
Street1 ROUTE 6A & PARKER ROAD	Street2	
City BARNSTABLE	State Zip Country MA 02630	

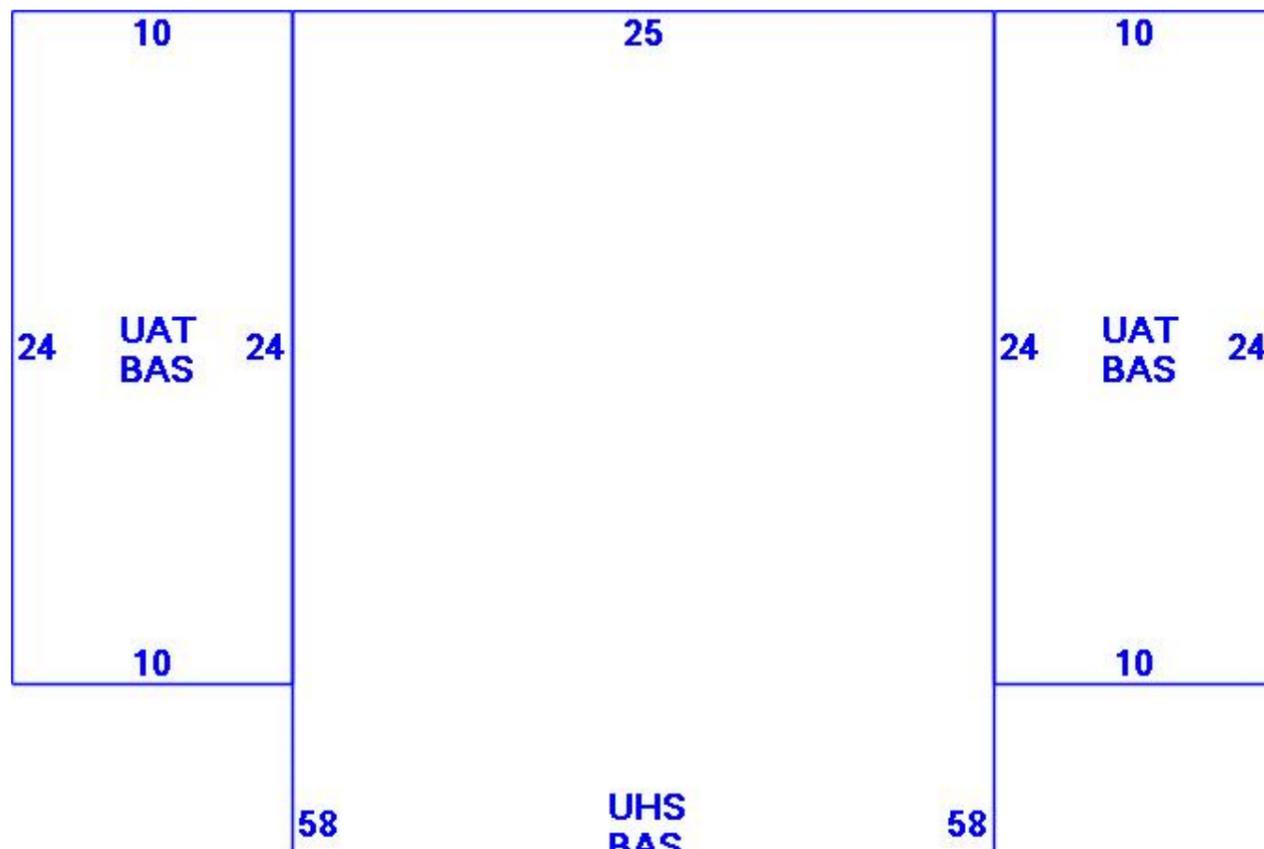
Land

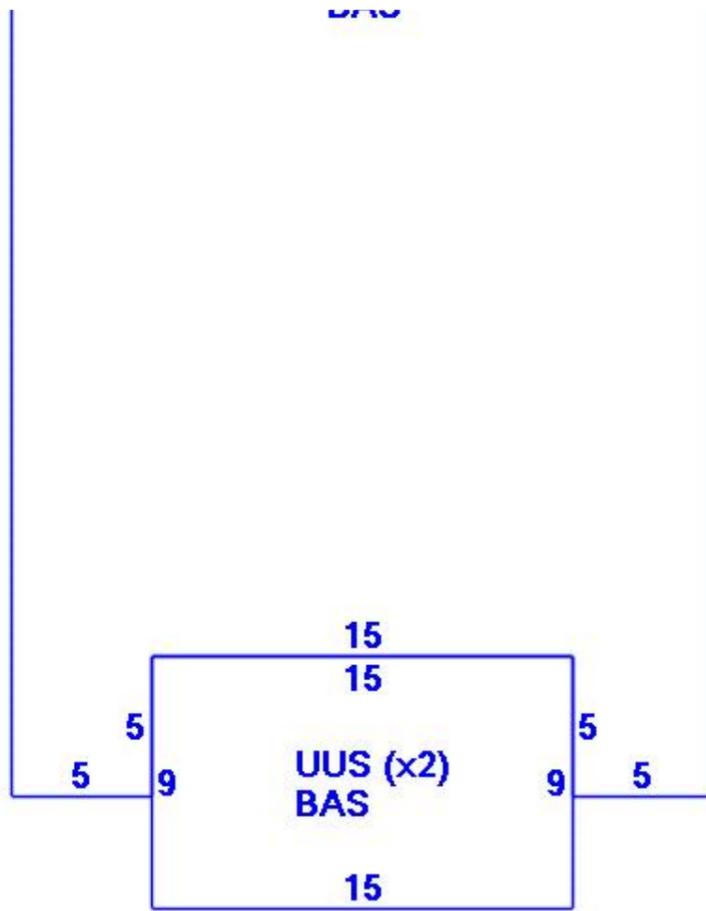
Acres 0.34	Use Church Etc M96	Zoning RF	Neighborhood 0108
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Public Water,Gas,Septic	Location factor	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1920	Roof structure Gable/Hip	Heat type Hot Water
Living area 1990	Roof cover Slate	Heat fuel Oil
Gross area 4115	Exterior wall Brick/Masonry	AC type Central
Style Churches	Interior wall Plastered	Bedrooms
Model Commercial	Interior floor Hardwood	Bath rooms 0 Full-0 Half
Grade Luxury	Foundation 0%	Total rooms
Stories 1		





▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
07/16/1997	New Roof	24469	\$4,800	01/01/1998	

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1		OUR LADY OF GOOD HOPE CHURCH	0/0	\$0

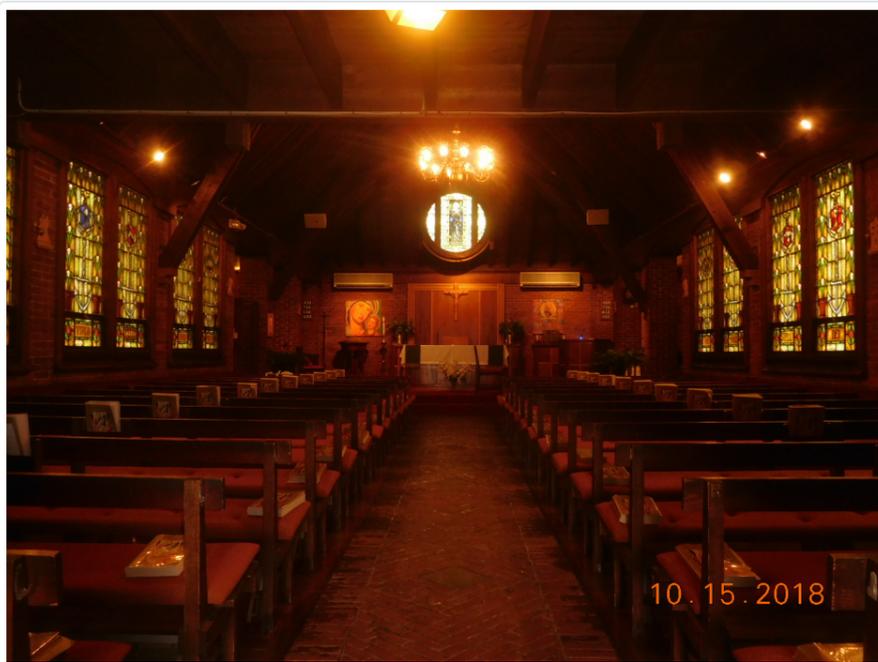
▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$911,200	\$0	\$300	\$163,700	\$1,075,200
2	2021	\$911,200	\$0	\$300	\$173,900	\$1,085,400
3	2020	\$539,700	\$0	\$300	\$193,800	\$733,800
4	2019	\$570,800	\$0	\$0	\$204,600	\$775,400
5	2018	\$552,900	\$0	\$0	\$193,800	\$746,700
6	2017	\$397,100	\$0	\$0	\$199,200	\$596,300
7	2016	\$397,100	\$0	\$0	\$200,700	\$597,800
8	2015	\$218,100	\$0	\$0	\$194,300	\$412,400
9	2014	\$218,100	\$0	\$0	\$194,300	\$412,400
10	2013	\$218,100	\$0	\$0	\$194,300	\$412,400
11	2012	\$275,000	\$0	\$0	\$189,100	\$464,100
12	2011	\$258,400	\$0	\$0	\$189,100	\$447,500
13	2010	\$263,100	\$0	\$0	\$199,600	\$462,700
14	2009	\$263,100	\$0	\$0	\$153,800	\$416,900
15	2008	\$238,200	\$0	\$0	\$140,600	\$378,800
17	2007	\$238,200	\$0	\$0	\$140,600	\$378,800
18	2006	\$236,100	\$0	\$0	\$145,000	\$381,100
19	2005	\$216,400	\$0	\$0	\$102,900	\$319,300
20	2004	\$205,000	\$0	\$0	\$85,800	\$290,800
21	2003	\$171,600	\$0	\$31,300	\$49,400	\$252,300

Save #	2002 Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
22	2002	\$151,400	\$0	\$31,300	\$49,400	\$232,100
23	2001	\$151,400	\$0	\$31,300	\$49,400	\$232,100
24	2000	\$144,300	\$0	\$31,300	\$26,800	\$202,400
25	1999	\$144,300	\$31,300	\$0	\$26,800	\$202,400
26	1998	\$144,300	\$31,300	\$0	\$26,800	\$202,400
38	1986	\$0	\$0	\$0	\$0	\$0

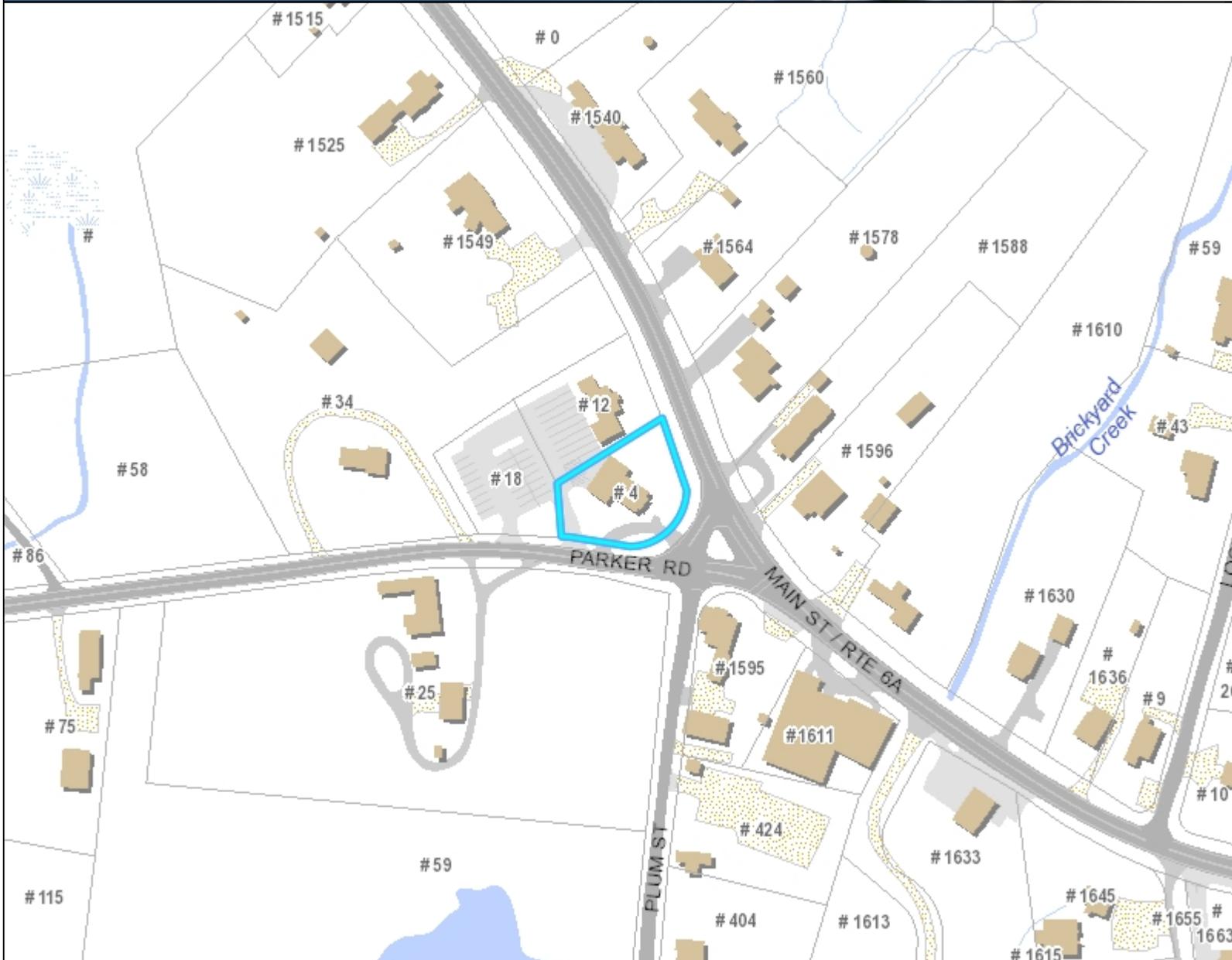
Photos







© 2018 - Town of Barnstable - ParcelLookup



### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 1/3/2022



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

### Legend

Road Names



Map printed on: 1/3/2022



Approx. Scale: 1 inch = 83 feet



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# Massachusetts Cultural Resource Information System

## Scanned Record Cover Page

<b>Inventory No:</b>	BRN.792
<b>Historic Name:</b>	Our Lady of Hope Catholic Church
<b>Common Name:</b>	Saint Francis Xavier Church
<b>Address:</b>	Main St Main St and Parker Rd
<b>City/Town:</b>	Barnstable
<b>Village/Neighborhood:</b>	West Barnstable
<b>Local No:</b>	19
<b>Year Constructed:</b>	1915
<b>Architect(s):</b>	Sullivan, Matthew
<b>Architectural Style(s):</b>	Spanish Eclectic
<b>Use(s):</b>	Church
<b>Significance:</b>	Architecture; Ethnic Heritage; Religion
<b>Area(s):</b>	BRN.M: Old King's Highway Historic District BRN.N: Barnstable Multiple Resource Area BRN.O: Old King's Highway Regional Historic District BRN.AN: West Barnstable - East
<b>Designation(s):</b>	Local Historic District (05/01/1973); Nat'l Register MRA (03/13/1987); Nat'l Register District (03/13/1987)
<b>Building Materials(s):</b>	Wall: Brick; Glass; Wood



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site ([www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)) under the subject heading "MHC Forms."

Commonwealth of Massachusetts  
Massachusetts Historical Commission  
220 Morrissey Boulevard, Boston, Massachusetts 02125  
[www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)

This file was accessed on: Monday, January 3, 2022 at 3:24: PM

LHD 3/11/73 BRN 792  
MRA-D  
3/13/87

Area WBA  
Form no. 1992  
D. M. J. HAN

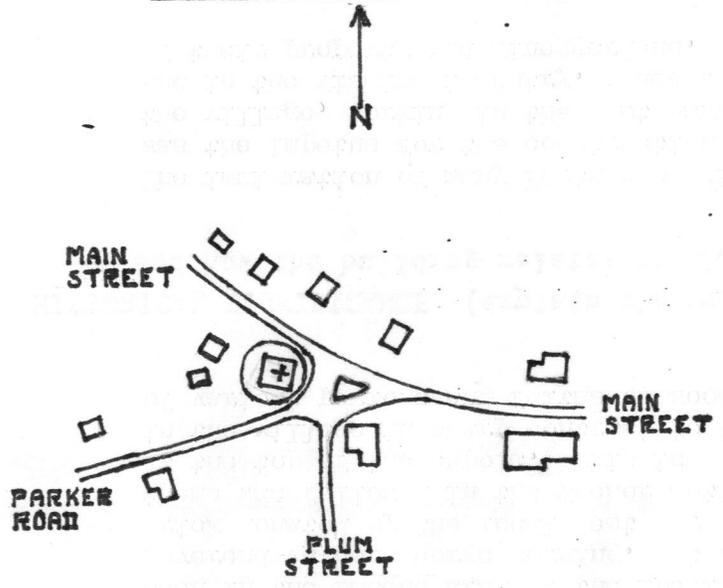
MASSACHUSETTS HISTORICAL COMMISSION  
294 Washington Street, Boston, MA 02108



Address Barnstable (West Barnstable-East)  
Intersection of Main Street and  
Parker Road, West Barnstable  
Historic Name Our Lady of Hope Catholic  
Church  
Original Church (mission) Catholic  
Present Church (mission) Catholic  
Ownership:  Private individual  
 Private organization Our Lady of  
Victory Church, Centerville, MA  
 Public  
Original owner St. Francis Xavier  
Church, Hyannis, MA.

SKETCH MAP

Draw map showing property's location in relation to nearest cross streets and other buildings or geographical features. Indicate north.



DESCRIPTION:  
Date 1915  
Source See bibliography  
Style Spanish Mosaic  
Architect Matthew Sullivan  
Exterior wall fabric West Barnstable brick.  
Outbuildings \_\_\_\_\_  
Major alterations (with dates) \_\_\_\_\_  
Moved \_\_\_\_\_ Date \_\_\_\_\_  
Approx. acreage .34 acres  
Setting Residential  
Photo # 41-10A-A19

Recorded by Martin E. Wirtanen  
Organization Barnstable Historical  
Commission  
Date Dec. 1981

**ARCHITECTURAL SIGNIFICANCE** (describe important architectural features and evaluate in terms of other buildings within community)

This church is unique in its Spanish monastic design inspired by a church seen in the Basque area of the Iberian Peninsula when visited by the Reverend Father George Downing. It was constructed of West Barnstable brick donated by the local West Barnstable brick factory. The fisherman theme was followed in the anchor motif in the stained-glass windows and at the top of the cupola. This is one of two brick buildings constructed in the village in sharp contrast to the Cape Cod style houses and churches of various periods and faiths of wood frame construction.

**HISTORICAL SIGNIFICANCE** (explain the role owners played in local or state history and how the building relates to the development of the community)

The immigration of many Portuguese fishermen of Catholic faith to the village was the impetus for the construction of the church. They were assimilated in the village, working in the West Barnstable Brick Factory, the cranberry bogs and in the fishing industry. They were also noted for the orderly appearance of their property and fine gardens.

The church is located on the south side of the Old County Road.

**BIBLIOGRAPHY and/or REFERENCES**

Trayser, Donald G., Barnstable, Three Centuries of a Cape Cod Town, 1939.  
The Seven Villages of Barnstable, 1976.



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**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
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**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 12.15.21 Map & Parcel

**Property Owner** Paul Reardon Phone 508.776.9092

Street address 94 Country Club Dr. Email paulreardon16@gmail.com

Village DKH  
 Mailing address 94 Country Club Dr. Barnstable Signature see contract

**Agent/Contractor** Jeff Connors/Neupro Phone 239.601.0352

Agent Address 26 Cedar St Woburn Ma. Email cathy@permitservicesne.com

Agent Signature Jeff Connors

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

- Building Construction**  New Build  Additions  Residential  Commercial
- Type of Building**  House  Garage  Barn  Shed  Other
- Project**  Roof  Windows/Doors  Siding/Painting  Solar  Other
- Landscape Feature**  Fence  Wall  Flag Pole  Pool  Other
- Signs**  New Sign  Replace Sign  Repaint Sign  Other

**Description of Proposed Work** Strip 7 sq wood clapboard and replace 7 sq vinyl clapboard on front only

**DENIED**

	<b>for Committee use only</b>	<b>This Certificate is hereby</b>	<b>APPROVED</b>
	By a vote of	Ave    Nay    Abstain	Date _____
	<b>Members signatures</b>		
	_____		
	<b>Conditions of Approval</b>		
	_____		

# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY**

Material  Color

**ROOF**

Make & style  Color

Roof Pitch (s) – (7/12 minimum)  *(specify on plans for new building & major additions)*

**GUTTER**

Type/Material  Color

**WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS**

Window/Door Trim material Wood  Other specify

Size of cornerboards  Size of casings (1X4 min)  Color

Rakes 1<sup>st</sup> member  2<sup>nd</sup> Member  Depth of overhang

Windows: Make/Model  Material  Color

Window Grills Divided Light  Exterior Glued Grills  Grills Between Glass

Removable Interior Grills  No Grills  Grill Pattern

Doors: Style & Make  Material  Color

Garage doors: Style  Size of opening  Material

Color

Shutters: Type & Style  Material  Color

Skylights: Type  Make & Model

Material  Size  Color

**SIDING**

Type Clapboard  Shingle  Other

Material Red Cedar  White Cedar  Other  *Vinyl*

Paint Color *Grey (Nantucket)*

**FOUNDATION**

Type  *(max 12' exposed)*

**DECK**

Material  Color

**SIGNS**

Size  Materials  Color

**FENCE**

Type *(split rail, chain link)*  Color

Material  Length

**RETAINING WALL**

Description

**LIGHTING**

Type and location (free standing affixed to structure, illuminated)

Parcel: 350-019

Location: 94 COUNTRY CLUB DRIVE, Barnstable

Owner: REARDON, PAUL J



Parcel  
350-019  
Location  
94 COUNTRY CLUB DRIVE  
Village  
Barnstable  
Town sewer account  
No

Developer lot:  
LOT 95  
Road type  
Town  
Fire district  
Barnstable  
Property Record Card  
[Property Record Card PDF File](#)

Secondary road  
MIDPINE RD  
Road index  
0363  
Interactive map

CWMP Sewer Expansion (subject to change with final engineering design)  
None planned at this time

Asbuilt septic scan  
[350019\\_1](#)

Owner: REARDON, PAUL J

Owner REARDON, PAUL J	Co-Owner	Book page 31626/0161
Street1 94 COUNTRY CLUB DRIVE	Street2	Street3
City YARMOUTH PORT	State Zip Country MA 02675	County

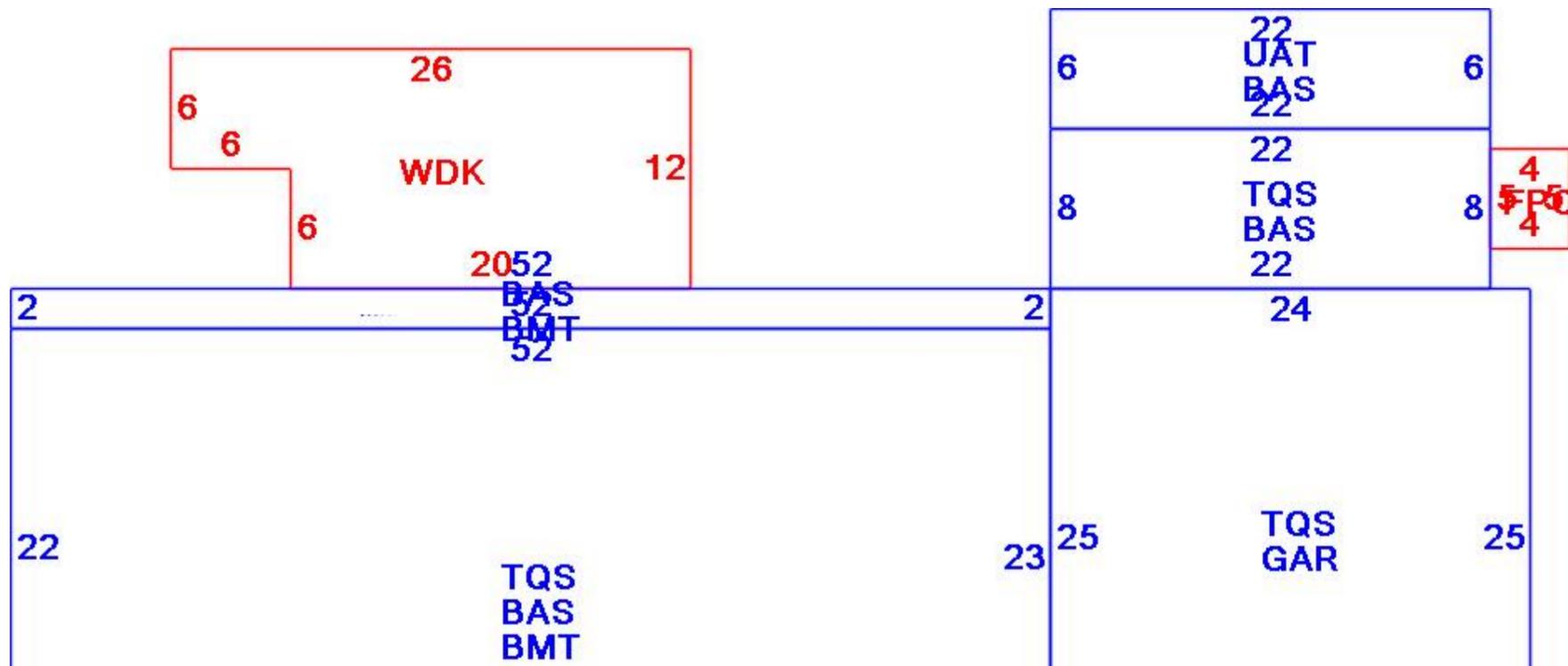
Land

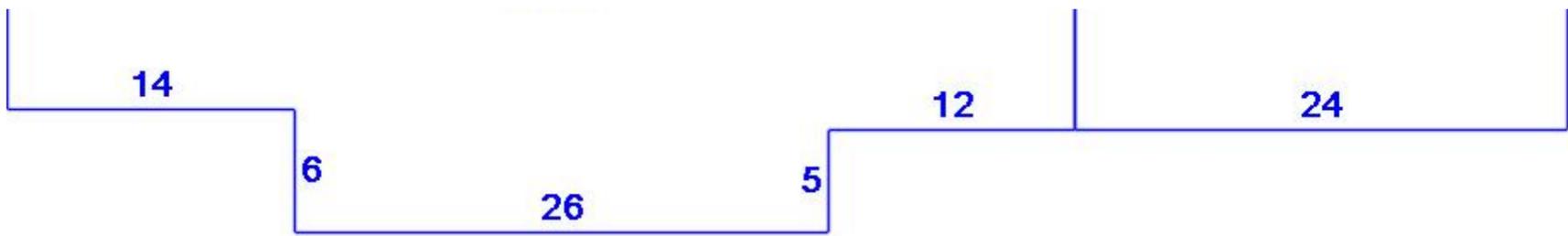
Acres 0.51	Use Single Fam M-01	Zoning RF-2	Neighborhood 0107
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Public Water, Gas, Septic	Location factor	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1983	Roof structure Gable/Hip	Heat type Hot Air
Living area 3081	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 6256	Exterior wall Wood Shingle, Clapboard	AC type Central
Style Cape Cod	Interior wall Drywall	Bedrooms 4 Bedrooms
Model Residential	Interior floor Carpet, Pine/Soft Wood	Bath rooms 4 Full-0 Half
Grade Average Plus	Foundation	Total rooms 10 Rooms
Stories 1.75		





▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
06/27/2016	Restre to Singl Fam	16-1828	\$2,000	08/01/2016	Remove Kitchen to restore to single family
10/27/2004	New Siding	80239	\$5,800	06/30/2004	
05/29/2002	Remodel-Addition	61422	\$100,928	11/14/2002	
01/01/1983	Dwelling	B24704	\$0	01/15/1984	BA 11/2 S

▼ Sale History

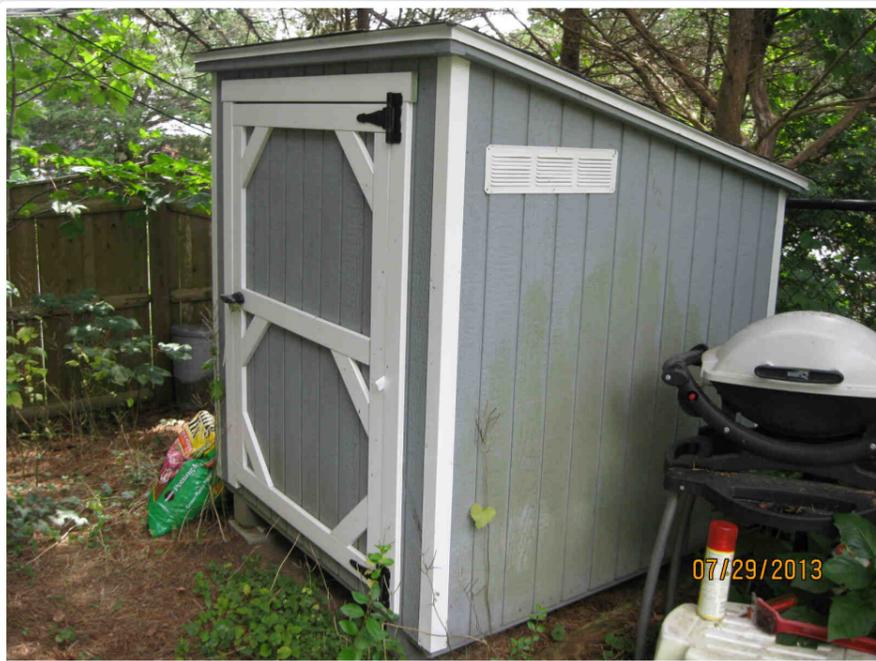
Line	Sale Date	Owner	Book/Page	Sale Price
1	10/29/2018	REARDON, PAUL J	31626/0161	\$15,000
2	10/16/2018	REARDON, PAUL J & ELIZABETH D	31597/0291	\$0
3	06/09/2000	REARDON, PAUL J	13062/0265	\$325,000
4	11/05/1982	BURMAN, DAVID & NANCY M	3599/0245	\$31,000

▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$469,900	\$52,500	\$11,400	\$138,300	\$672,100
2	2021	\$389,400	\$52,500	\$11,400	\$140,400	\$593,700
3	2020	\$383,600	\$48,300	\$11,000	\$140,400	\$583,300
4	2019	\$336,600	\$48,900	\$11,700	\$148,900	\$546,100
5	2018	\$279,700	\$48,900	\$12,100	\$173,600	\$514,300
6	2017	\$261,500	\$49,900	\$12,100	\$173,600	\$497,100
7	2016	\$261,500	\$49,900	\$12,100	\$174,800	\$498,300
8	2015	\$231,700	\$47,800	\$4,100	\$171,900	\$455,500
9	2014	\$231,700	\$47,800	\$4,200	\$171,900	\$455,600
10	2013	\$231,700	\$47,800	\$4,400	\$180,700	\$464,600
11	2012	\$236,800	\$46,800	\$3,400	\$171,900	\$458,900
12	2011	\$281,100	\$3,700	\$0	\$171,900	\$456,700
13	2010	\$280,600	\$3,700	\$0	\$166,300	\$450,600
14	2009	\$324,000	\$2,800	\$0	\$162,600	\$489,400
15	2008	\$351,600	\$2,800	\$0	\$174,100	\$528,500
17	2007	\$438,300	\$2,800	\$0	\$174,100	\$615,200
18	2006	\$409,700	\$2,800	\$0	\$182,500	\$595,000
19	2005	\$362,300	\$2,700	\$0	\$201,500	\$566,500
20	2004	\$292,900	\$2,700	\$0	\$201,500	\$497,100
21	2003	\$181,500	\$2,700	\$0	\$60,400	\$244,600
22	2002	\$181,500	\$2,700	\$0	\$60,400	\$244,600
23	2001	\$181,500	\$2,800	\$0	\$60,400	\$244,700
24	2000	\$141,700	\$2,800	\$0	\$49,100	\$193,600
25	1999	\$141,700	\$2,800	\$0	\$49,100	\$193,600

Save #	1998 Year	Building Value	XP Value	OB Value	Land Value	Total Parcel Value
26	1998	\$141,700	\$2,800	\$0	\$49,100	\$193,600
27	1997	\$149,200	\$0	\$0	\$34,000	\$183,200
28	1996	\$149,200	\$0	\$0	\$34,000	\$183,200
29	1995	\$149,200	\$0	\$0	\$34,000	\$183,200
30	1994	\$136,600	\$0	\$0	\$57,100	\$193,700
31	1993	\$136,600	\$0	\$0	\$57,100	\$193,700
32	1992	\$155,300	\$0	\$0	\$67,900	\$223,200
33	1991	\$151,500	\$0	\$0	\$75,500	\$227,000
34	1990	\$151,500	\$0	\$0	\$75,500	\$227,000
35	1989	\$151,500	\$0	\$0	\$75,500	\$227,000
36	1988	\$152,500	\$0	\$0	\$39,900	\$192,400
37	1987	\$152,500	\$0	\$0	\$39,900	\$192,400
38	1986	\$152,500	\$0	\$0	\$39,900	\$192,400

Photos







© 2018 - Town of Barnstable - ParcelLookup

### Legend

Road Names



Map printed on: 1/21/2022



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

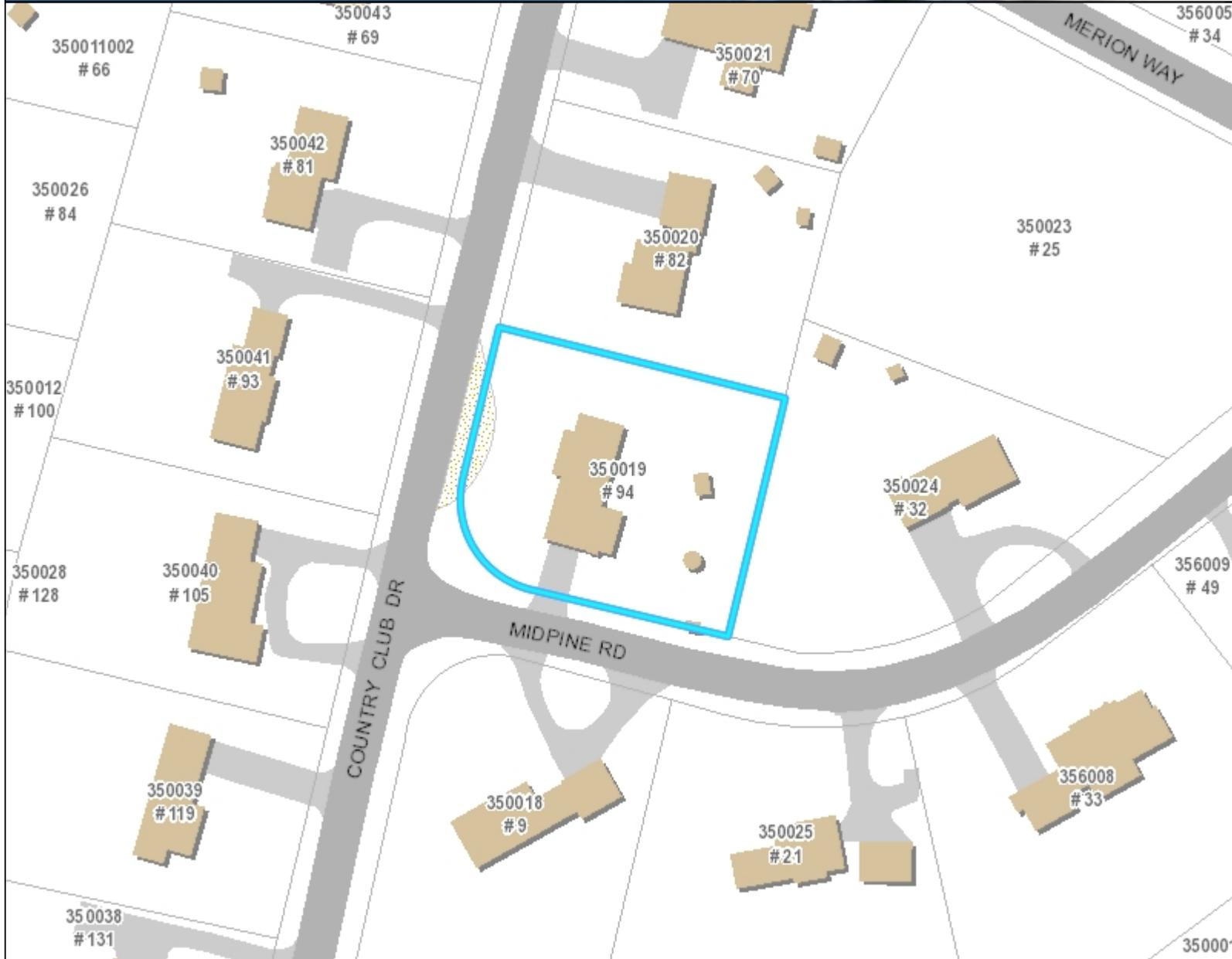


**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



**Legend**

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 1/21/2022



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Property ID: 350018  
BURKE. PAUL E JR & TANNER. DIANNE P  
PO BOX 154  
CUMMAQUID. MA 02637

Property ID: 350019  
REARDON. PAUL J  
94 COUNTRY CLUB DRIVE  
YARMOUTH PORT. MA 02675

Property ID: 350020  
SARGENT. WALTER L & BONNIE J TRS  
WALTER L & BONNIE J SARGENT REV TR  
82 COUNTRY CLUB DRIVE  
YARMOUTH PORT. MA 02675

Property ID: 350024  
OJALA. DANIEL A & JENNIFER L  
32 MIDPINE RD  
YARMOUTH PORT. MA 02675-1908

Property ID: 350025  
MACARTHUR. ROBERT S  
1525 OSPREY AVE  
NAPLES. FL 34102

Property ID: 350040  
SHEEHAN PAUL F&DAVID. FLYNN PETER J  
TWENTY ONE OCTOBER REALTY TRUST  
PO BOX 161  
CUMMAQUID. MA 02637

Property ID: 350041  
MOELLER. SUSAN L  
93 COUNTRY CLUB DRIVE  
YARMOUTH PORT. MA 02675



**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
 Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date \_\_\_\_\_ **Map & Parcel** \_\_\_\_\_

**Property Owner** \_\_\_\_\_ Phone \_\_\_\_\_

Street address \_\_\_\_\_ Email \_\_\_\_\_

Village \_\_\_\_\_

Mailing address \_\_\_\_\_ Signature \_\_\_\_\_

**Agent/Contractor** \_\_\_\_\_ Phone \_\_\_\_\_

Agent Address \_\_\_\_\_ Email \_\_\_\_\_

Agent Signature \_\_\_\_\_

**If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.**

**There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.**

	<input type="checkbox"/> New Build	<input type="checkbox"/> Additi	<b>Check all categories that apply</b>	<input type="checkbox"/> Residential	<input type="checkbox"/> Commercial
<b>Building Construction</b>	<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Other
<b>Type of Building</b>	<input type="checkbox"/> Roof	<input type="checkbox"/> Windows/Doors	<input type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input type="checkbox"/> Other
<b>Project</b>	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other
<b>Landscape Feature</b>	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other	_____
<b>Signs</b>					

**Description of Proposed Work** \_\_\_\_\_

**DENIED**

	<i>for Committee use only</i>	<b>This Certificate is hereby</b>	<b>APPROVED</b>
	By a vote of	—Ave— Nay— Abstain—	Date _____
	<i>Members signatures</i>	_____	
	<i>Conditions of Approval</i>	_____	

## CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

### CHIMNEY

Material  Color

### ROOF

Make & style  Color

Roof Pitch (s) – (7/12 minimum)   
*(specify on plans for new building & major additions)*

### GUTTER

Type/Material  Color

### WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

Window/Door Trim material Wood  Other specify

Size of cornerboards  Size of casings (1X4 min)  Color

Rakes 1<sup>st</sup> member  2<sup>nd</sup> Member  Depth of overhang

Windows: Make/Model  Material  Color

Window Grills Divided Light  Exterior Glued Grills  Grills Between Glass

Removable Interior Grills  No Grills  Grill Pattern

Doors: Style & Make  Material  Color

Garage doors: Style  Size of opening  Material

Color

Shutters: Type & Style  Material  Color

Skylights: Type  Make & Model

Material  Size  Color

### SIDING

Type Clapboard  Shingle  Other

Material Red Cedar  White Cedar  Other

Paint Color

### FOUNDATION

Type  *(max 12' exposed)*

### DECK

Material  Color

### SIGNS

Size  Materials  Color

### FENCE

Type  *(split rail, chain link)* Color

Material  Length

### RETAING WALL

Description

### LIGHTING

Type and location (free standing affixed to structure, illuminated)

# CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

**Submit six (6) complete colored sets, unless otherwise noted**

## **FEES**

- .... **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- .... **Legal Ad fee**, in the amount of **\$19.84**, made payable to the Town of Barnstable
- .... **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

## **ALTERATIONS** *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures and color samples
- .... Plans of building elevations/photographs, **ONLY** if there is a change to the location and size of the window (s) or Door (s).

## **MINOR ADDITIONS** *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... **Application for Certificate of Appropriateness**,
- .... **Spec Sheet**, brochures and color samples
- .... **Site Plan**, **ONLY** if there are changes to the footprint *(see site plan criteria below)*  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... **Photographs** of all building elevation affected by any proposed alterations
- .... **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper  
Company brochure of manufacturers shed or to-scale sketch **or** affected structure or building elevations

## **ASSESSORY STRUCTURES, NEW/ALTERED** *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures &/or diagram
- .... **Site Plan** *(see site plan criteria below)*
- .... **Photographs** of any existing structure that will be affected by the change

## **SIGNS** *(complete sign supplement)*

- .... **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

## **SOLAR PANELS** *(complete solar panel supplement)*

- .... **Drawing** of locations of panels on house showing roof and panel dimensions
- .... **Site Plan** showing location of building on property *(see site plan criteria below)*

## **SITE PLAN CRITERIA**

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

**Submit Six (6) complete colored sets, unless otherwise noted**

**Application for Certificate of Appropriateness**

**Spec Sheet**, brochures or diagram

**Site Plan**

- ..... Name of applicant, street location, map and parcel
- ..... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ..... North arrow, written and drawn to scale
- ..... Changes to existing grades shown with one-foot contours
- ..... Proposed & existing footprint of building and/or structures, and distance to lot lines
- ..... Proposed driveway location
- ..... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ..... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

**Building Elevations**

- ..... Plans at scale of 1/4" = 1 foot; a written drawn scale
- ..... Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
- ..... Name of applicant, street location, map and parcel
- ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ..... A written and bar drawn scale
- ..... Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ..... Window schedule on plans

**Landscape Plan** (drawn on a certified perimeter plan containing the following)

- ..... Name of applicant, street address, assessor's map and parcel number
- ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ..... The location of existing and proposed buildings and structures, and lot lines
- ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ..... Existing buffer areas to remain
- ..... Location and species of trees and plants
- ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
- ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
*For removal of stone walls, you must file a demolition application*
- ..... All proposed exterior lighting and signs

**Sketch or Photos of adjacent properties**

- ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,
- ..... Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
*Please discuss with staff if you do not think this is relevant to your application.*

**Photographs of all sides of existing buildings** to remain or being added to

**Existing building, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Existing building, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Plan preparer, signature and date**

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# SOLAR PANEL SUPPLEMENT

**STRUCTURE ONE**

**STRUCTURE TYPE** Home  Garage  Barn

**ELEVATION PLACEMENT**

North  South  East  West

**ROOF MEASUREMENTS**

Length  Height  Pitch

**SOLAR PANEL MEASUREMENTS**

Length  Depth  Width

**SOLAR PANEL TYPE & FINISH**

Color  Finish (matte or glossy)

**STRUCTURE TWO**

**STRUCTURE TYPE** Home  Garage  Barn

**ELEVATION PLACEMENT**

North  South  East  West

**ROOF MEASUREMENTS**

Length  Height  Pitch

**SOLAR PANEL MEASUREMENTS**

Length  Depth  Width

**SOLAR PANEL TYPE & FINISH**

Type Roof Mounted  Ground Mounted  Canopy/Carport System

Color  Finish (matte or glossy)

<b>Solar Company</b>	
	Phone
<b>Solar representative</b>	
	Print Name <input style="width: 40%; border: none;" type="text"/> Signature <input style="width: 40%; border: none;" type="text"/>
<b>Date</b>	

# SIGN SUPPLEMENT

## PROJECT TYPE

New

Minor Change to Existing Sign

Replace Existing Color

Replace Existing Sign with New

## MOUNTING TYPE

Post Mount

*Post Mount Installation Type*

Surface Installation

Direct Burial Installation

Wall/Surface Mount

Mounting type

Elevation affixed to

## ASTHETICS

Size

Material

Lettering (style)

Color

Post/Mount Material

Color

Height to Crossbar

Single Faced

Double Faced

## LIGHTING

Will the sign be lit

Yes

No

Type of Lighting

Placement of Lighting

## ADDITIONAL INFORMATION

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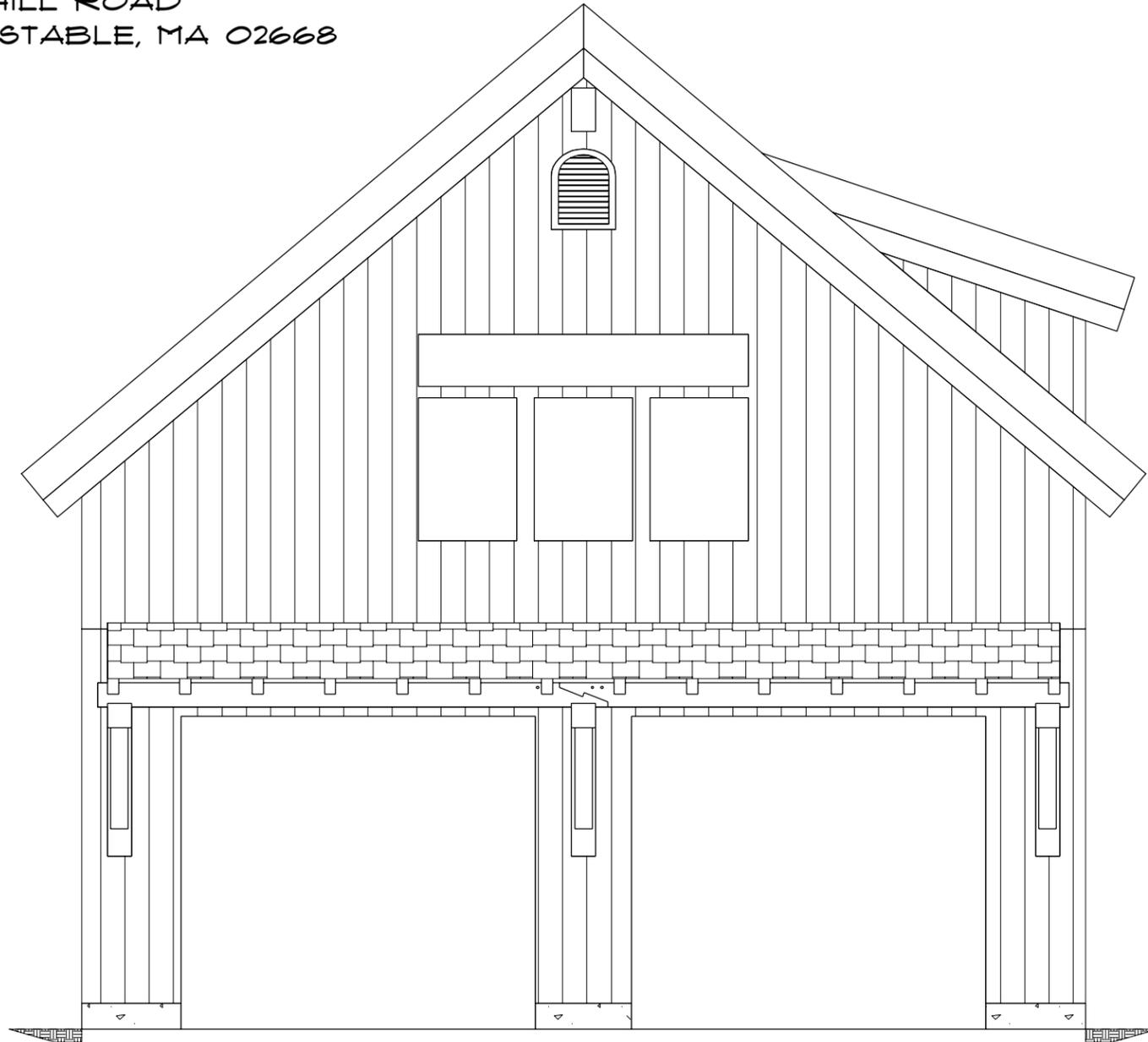
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PLYMOUTH CARRIAGE BARN KIT FOR:

**ROBERT FOLEY**

109 POINT HILL ROAD  
WEST BARNSTABLE, MA 02668



26' x 30' POST & BEAM PLYMOUTH CARRIAGE BARN KIT

REVISION DATE: 11/08/2021

REVISION #: 0

DESIGNED & FABRICATED BY:



**DRAWING LIST**

COVER	TITLE SHEET & DESIGN DATA
SHEET 1	ELEVATIONS
SHEET 2	FOUNDATION PLAN
SHEET 3	POST & SILL PLAN
SHEET 4	FRAMING PLANS
SHEET 5	FRAMING SECTIONS
SHEET 6	FRAMING SECTIONS
SHEET 7	NOTES & DETAILS

**THE BARN YARD**

MANUFACTURING & DESIGN FACILITY  
9 VILLAGE ST.  
ELLINGTON, CT 06029  
860.454.9103

SHOWCASE LOCATIONS  
120 WEST RD. RTE. 6  
ELLINGTON, CT 06029 BETHEL, CT 06801  
860.896.0636 203.740.7433

[www.greatcountrygarages.com](http://www.greatcountrygarages.com) CT LICENSE # 558916 MA LICENSE # 127550

NOTE:  
ELEVATIONS & RENDERINGS  
ARE ARTISTS CONCEPTIONS.  
COLOR AND OPTION STYLES  
MAY DIFFER FROM ACTUAL  
CONSTRUCTION.

PROJECT NO. 7254

PRINT DATE: 11.08.2021

**BUILDING CODE:**  
 THE MASSACHUSETTS BUILDING RESIDENTIAL  
 CODE 180 CMR NINTH EDITION.  
**DESIGN NOTES:**  
**DEAD LOADS:** SECOND FLOOR: 15 PSF  
 ROOF: 15 PSF  
**LIVE LOADS:** SECOND FLOOR: 40 PSF  
 ROOF: 20 PSF  
**SNOW LOADS:** ROOF: 30 PSF  
**WIND LOADS:** BASIC WIND SPEED(V): 140 MPH (3 SEC. GUST)  
**TIMBER NOTES:**  
**SPECIES:** EASTERN WHITE PINE  
**GRADE:** #2 OR BETTER  
**SURFACE:** S4S  
**SIZING:** 1/2" UNDER ROUGH DIM. (8X8 + 1.5"X1.5")  
**CHAMFER:** (NONE)  
**FINISH:** (NONE)  
**FASTENER NOTES:**  
**STEEL:**  
 - BOLTS, NUTS, WASHERS: DIA. AS NOTED, GALVANIZED, GRADE A307  
**TIMBER FRAME:**  
 - TRADITIONAL MORTISE & TENON JOINERY W/ 1" DIA. OAK PEGS AT BEAM CONNECTIONS.  
 - TRADITIONAL WOOD CONNECTIONS TO BE SUPPLEMENTED BY STRUCTURAL WOOD SCREWS AS NOTED.

BUILDING MATERIAL SCHEDULE		
ITEM	DESCRIPTION	FINISH / COLOR
<b>ROOF ASSEMBLY</b>		
ROOF DECKING	1X8 T&G PINE V-GROOVE DECKING	N/A
ROOF INSULATION	10.5" EPS R38 61P6	N/A
WEATHER BARRIER	FELT PAPER	N/A
ROOFING	ARCHITECTURAL SHINGLES (BY OTHERS)	TBD
EAVE OVERHANGS	1x SHIPLAP PINE	NONE
FASCIAS	1x PINE W/ 1x3 PINE SHADOW BOARD	NONE
RAKES	1x PINE W/ 1x3 PINE SHADOW BOARD	NONE
VENTS	FAUX PINE ARCH GABLE VENTS - QTY. 2	NONE
<b>WALL ASSEMBLY</b>		
EXTERIOR SIDING	1X8 VERTICAL SHIPLAP PINE SIDING	NONE
EXTERIOR TRIM	1X4 PINE	NONE
EXTERIOR SIDING	CEDAR SHAKES - FRONT GABLE ONLY	NONE
EXTERIOR INSULATION	2.5" ZIP-R12 - FRONT GABLE ONLY	NONE

**NOTE: ALL 1X PINE FOR FASCIAS, RAKES, SOFFITS & TRIM SHALL BE CUT FROM 1X8 PINE SHIPLAP SIDING**

### TBY CONSTRUCTION SCOPE OF SERVICES

SUPPLIED BY TBY AND INSTALLED BY OTHERS:

- STRUCTURAL TIMBER FRAME COMPONENTS
- 1X8 T&G PINE V-GROOVE ROOF DECKING
- 1X8 T&G PINE V-GROOVE LOFT FLOORING
- FAUX PINE GABLE VENTS
- 1X8 SHIPLAP PINE FOR SIDING & TRIM
- 10.5" EPS 61P6

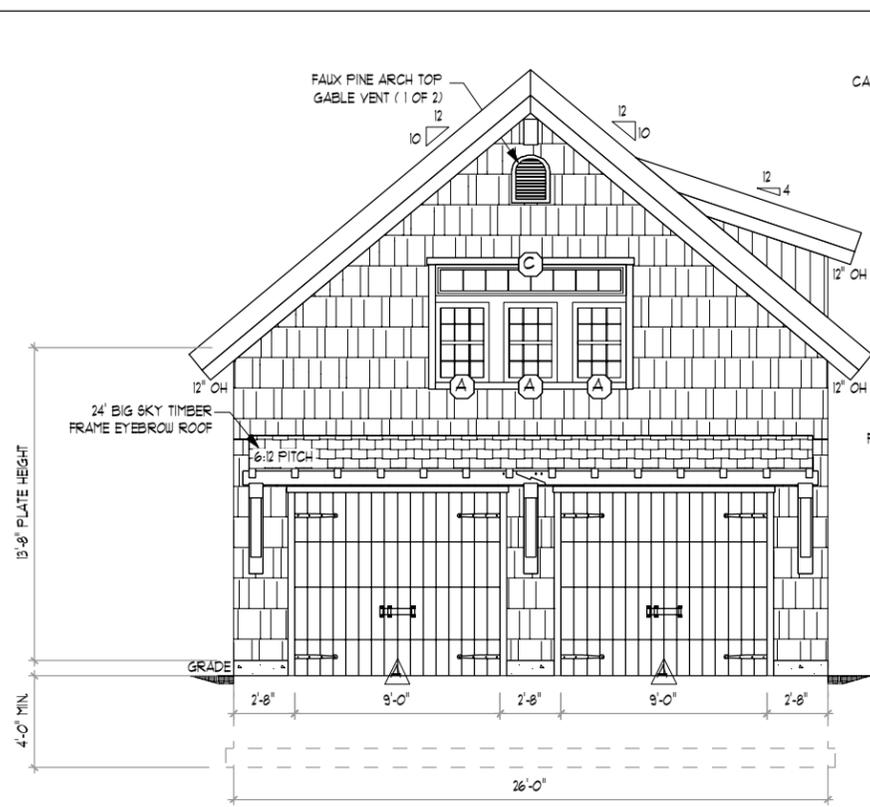
EXCLUSIONS INCLUDE BUT ARE NOT LIMITED TO:

- FOUNDATION
- OVERHANGS
- DOORS, WINDOWS & ROOFING MATERIAL
- EXTERIOR DOOR & WINDOW TIMBER CLADDING
- 2.5" ZIPs & CEDAR SHAKES

PER CONTRACT NO. 1254 AND ANY APPROVED CHANGE ORDERS

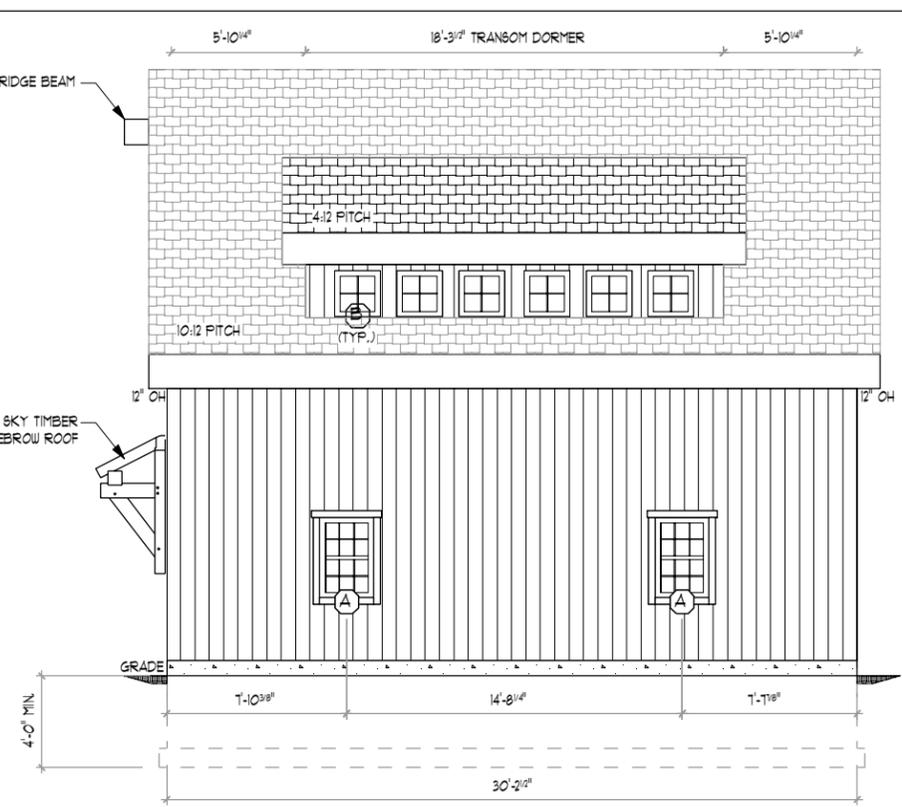
WINDOW SCHEDULE - BY OTHERS							
WINDOW MANUFACTURE: MARVIN ELEVATE SERIES							
LETTER	QTY	MODEL	COLOR	GRILL	EGRESS	TEMP.	RGH. OPG (WxH)
(A)	10	ELD3044	TBD	TBD	NO	YES	2'-6 1/2" x 3'-8 1/8"
(B)	6	ELAW2923	TBD	TBD	NO	NO	2'-5" x 1'-11 5/8"
(C)	2	CUSTOM TRANSOM	TBD	TBD	NO	NO	8'-6 1/2" x 1'-4 1/4"

DOOR SCHEDULE - BY OTHERS				
LETTER	QTY	MANUF.	MODEL	RGH. OPG (WxH)
(A)	2	TBD	8' x 8' FINE FACE OVER HEAD DOOR W/ AUTH. STRAPS HINGES AND OAK LATCH	9'-2" x 8'-1"
(B)	1	SIMPSON	3068 SIMPSON	38" x 6'-10 1/2"



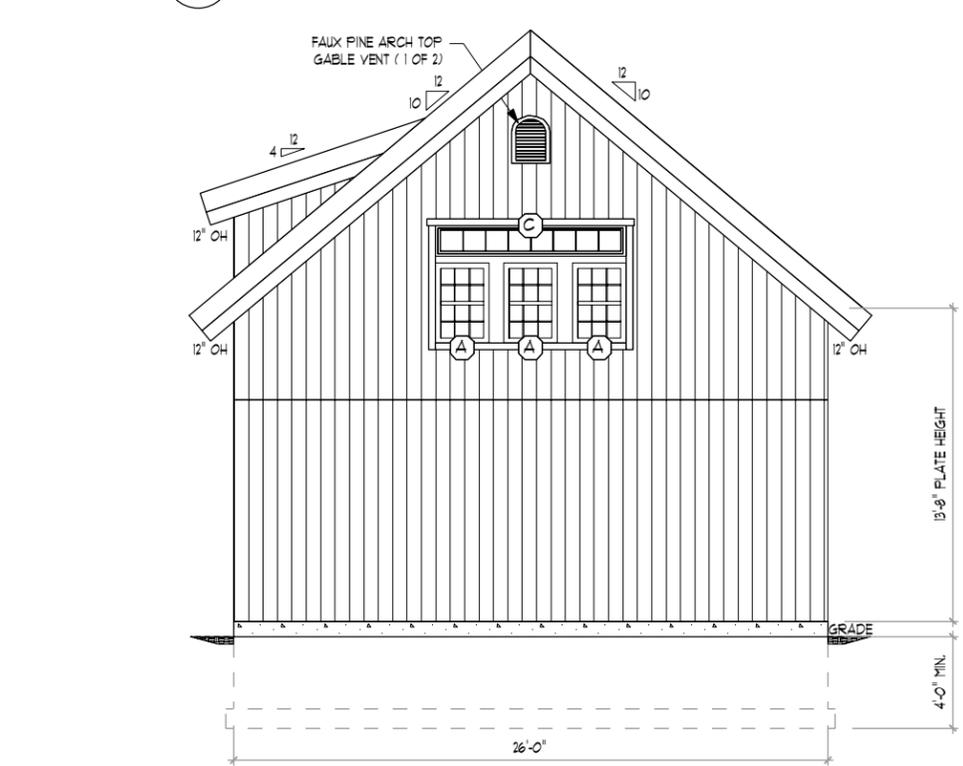
**1 FRONT ELEVATION**

TF-1 SCALE: 1/8" = 1'-0"



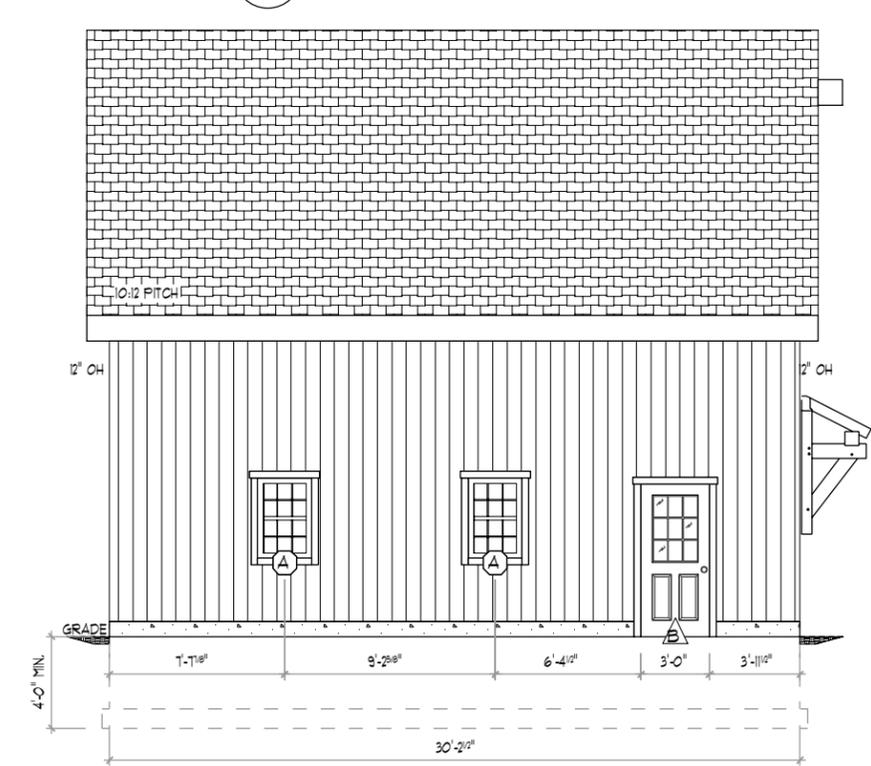
**3 RIGHT ELEVATION**

TF-1 SCALE: 1/8" = 1'-0"



**2 REAR ELEVATION**

TF-1 SCALE: 1/8" = 1'-0"



**4 LEFT ELEVATION**

TF-1 SCALE: 1/8" = 1'-0"

PROJECT TITLE:  
**PLYMOUTH CARRIAGE BARN KIT FOR:  
 ROBERT FOLEY  
 109 POINT HILL ROAD  
 WEST BARNSTABLE, MA 02668**

## DRAWING TITLE: ELEVATIONS

DATE: 11-08-21	SCALE: AS NOTED
DRAWN BY: LND	TF-1 OF 1
CHK BY: EWS	
PROJECT D: 1254	

COPYRIGHT © 2021 THE BARN YARD. All Rights Reserved. This drawing is the property of The Barn Yard and is loaned with the understanding and shall not be copied, reproduced or otherwise disposed of directly or indirectly without consent.

BUILDING CODE:

THE MASSACHUSETTS BUILDING RESIDENTIAL

CODE 180 CMR NINTH EDITION.

DESIGN NOTES:

DEAD LOADS: SECOND FLOOR: 15 P&F

ROOF: 15 P&F

LIVE LOADS: SECOND FLOOR: 40 P&F

ROOF: 20 P&F

SNOW LOADS: ROOF: 30 P&F

WIND LOADS: BASIC WIND SPEED(V): 140 MPH (3 SEC. GUST)

TIMBER NOTES:

SPECIES: EASTERN WHITE PINE

GRADE: #2 OR BETTER

SURFACE: S4S

SIZING: 1/2" UNDER ROUGH DIM. (8X8 + 1.5"X13")

CHAMFERS: (NONE)

FINISH: (NONE)

FASTENER NOTES:

STEEL:

- BOLTS, NUTS, WASHERS: DIA. AS NOTED, GALVANIZED, GRADE A307

TIMBER FRAME:

- TRADITIONAL MORTISE & TENON JOINERY W/ 1" DIA. OAK PEGS AT

BEAM CONNECTIONS.

- TRADITIONAL WOOD CONNECTIONS TO BE SUPPLEMENTED BY

STRUCTURAL WOOD SCREWS AS NOTED.

NO. DATE: REVISIONS / SUBMISSIONS

SEAL:

PROJECT TITLE:

PLYMOUTH CARRIAGE BARN KIT FOR:

ROBERT FOLEY

109 POINT HILL ROAD

WEST BARNSTABLE, MA 02668

DRAWING TITLE:

FOUNDATION PLAN

DATE:

11-08-21

SCALE:

AS NOTED

DRWN BY:

LND

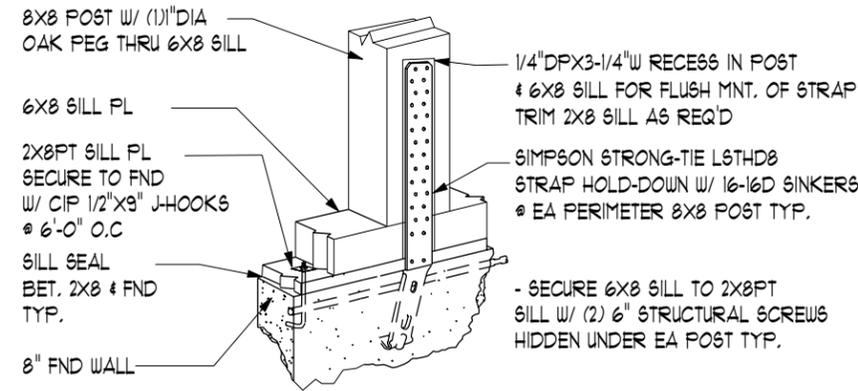
CHK BY:

EWG

PROJECT D:

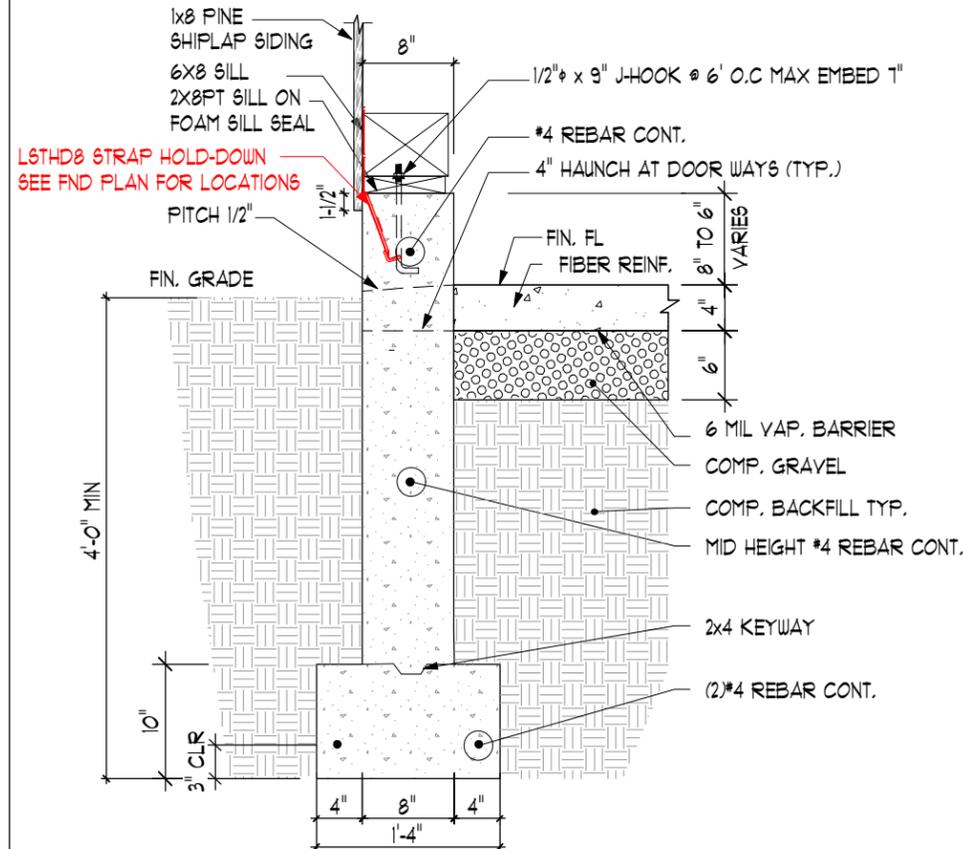
7254

TF-2 OF 7



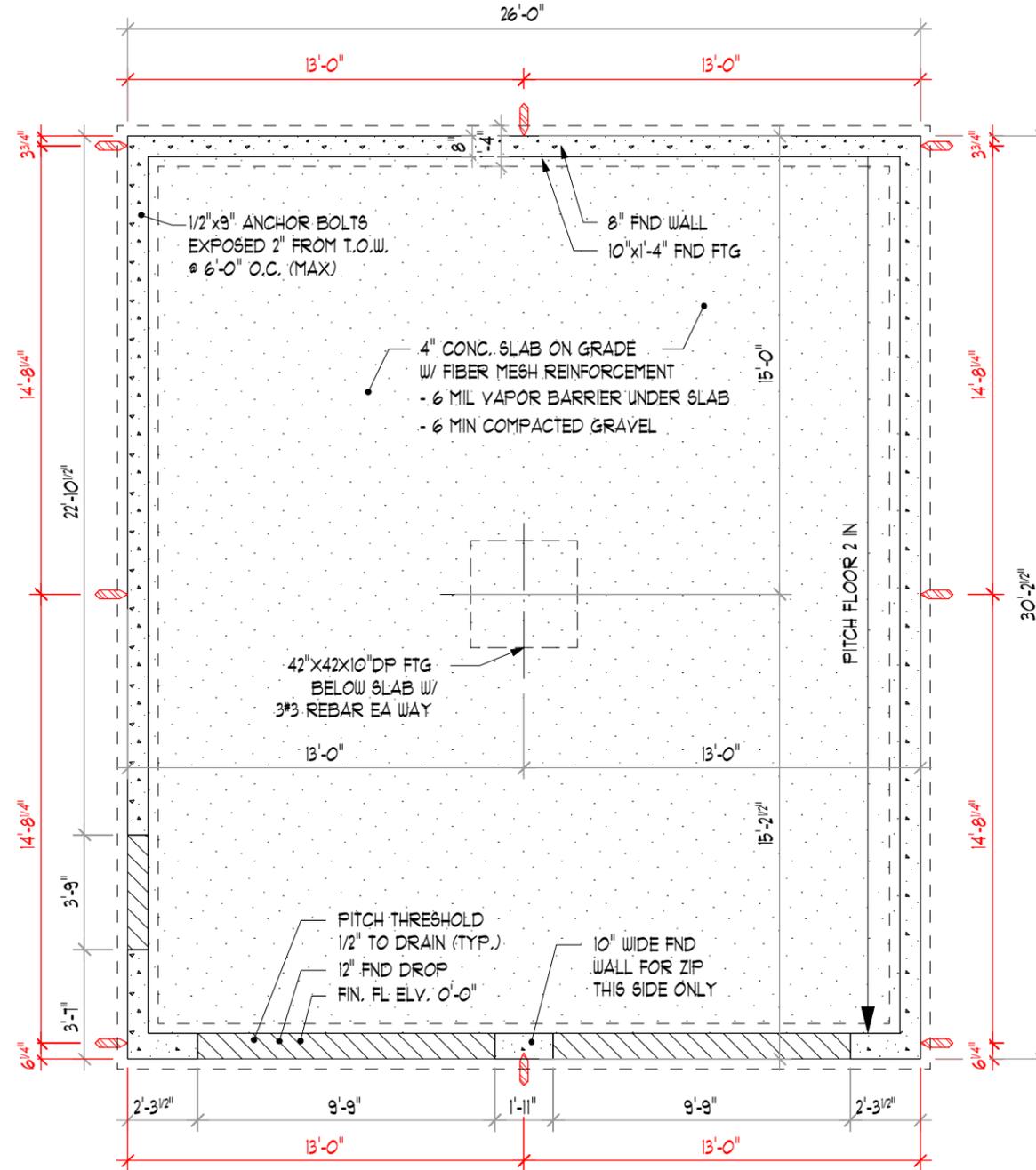
3 POST HOLD-DOWN DETAIL

TF-2 SCALE: NTS



2 FOUNDATION SECTION DETAIL

TF-2 SCALE: 3/4" = 1'-0"



1 FOUNDATION PLAN

TF-2 SCALE: 3/16" = 1'-0"

◊ = SIMPSON STRONG-TIE L5THD8 STRAP HOLD-DOWN (1 OF 8) (DIM. TO HOLD-DOWN CENTER LINE)

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**BUILDING CODE:**  
 THE MASSACHUSETTS BUILDING RESIDENTIAL  
 CODE 180 CMR NINTH EDITION.  
**DESIGN NOTES:**  
**DEAD LOADS:** SECOND FLOOR: 15 P&F  
 ROOF: 15 P&F  
**LIVE LOADS:** SECOND FLOOR: 40 P&F  
 ROOF: 20 P&F  
**SNOW LOADS:** ROOF: 30 P&F  
**WIND LOADS:** BASIC WIND SPEED(V): 140 MPH (3 SEC. GUST)  
**TIMBER NOTES:**  
**SPECIES:** EASTERN WHITE PINE  
**GRADE:** #2 OR BETTER  
**SURFACE:** S4S  
**SIZING:** 1/2" UNDER ROUGH DIM. (8X8 + 1.5"X1.5")  
**CHAMFER:** (NONE)  
**FINISH:** (NONE)  
**FASTENER NOTES:**  
**STEEL:**  
 - BOLTS, NUTS, WASHERS: DIA. AS NOTED, GALVANIZED, GRADE A307  
**TIMBER FRAME:**  
 - TRADITIONAL MORTISE & TENON JOINERY 3/4" DIA. OAK PEGS AT BEAM CONNECTIONS.  
 - TRADITIONAL WOOD CONNECTIONS TO BE SUPPLEMENTED BY STRUCTURAL WOOD SCREWS AS NOTED.

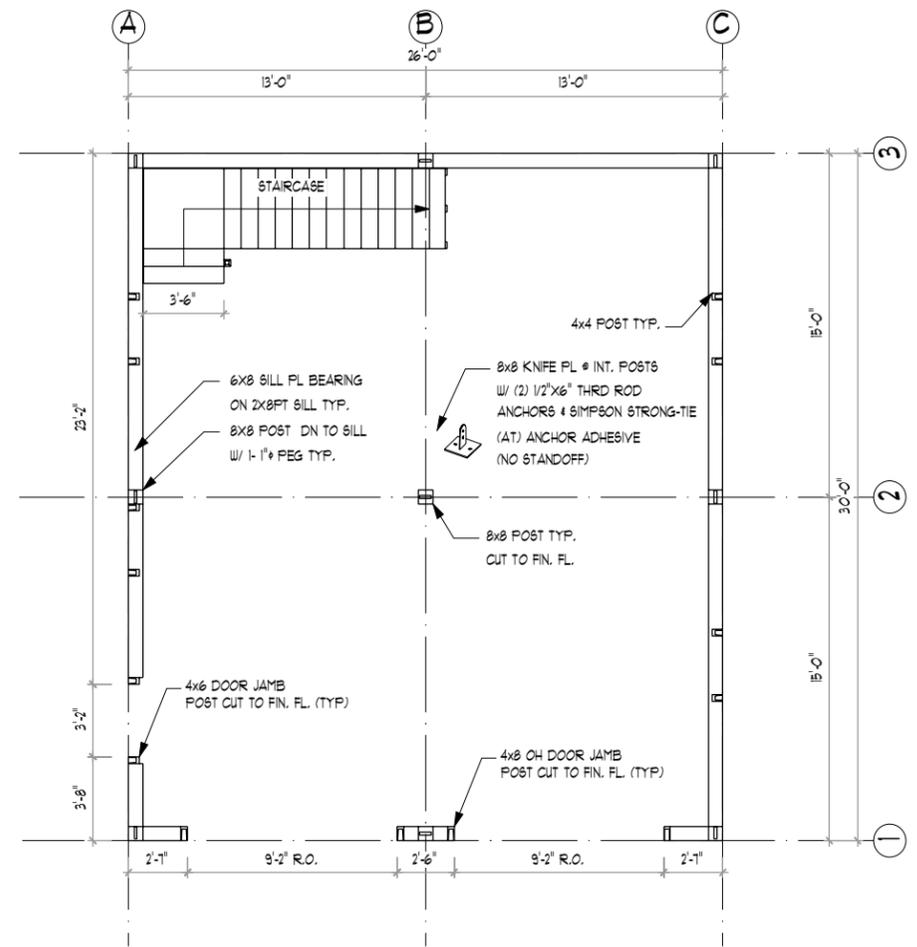
NO.	DATE	REVISIONS / SUBMISSIONS

SEAL:

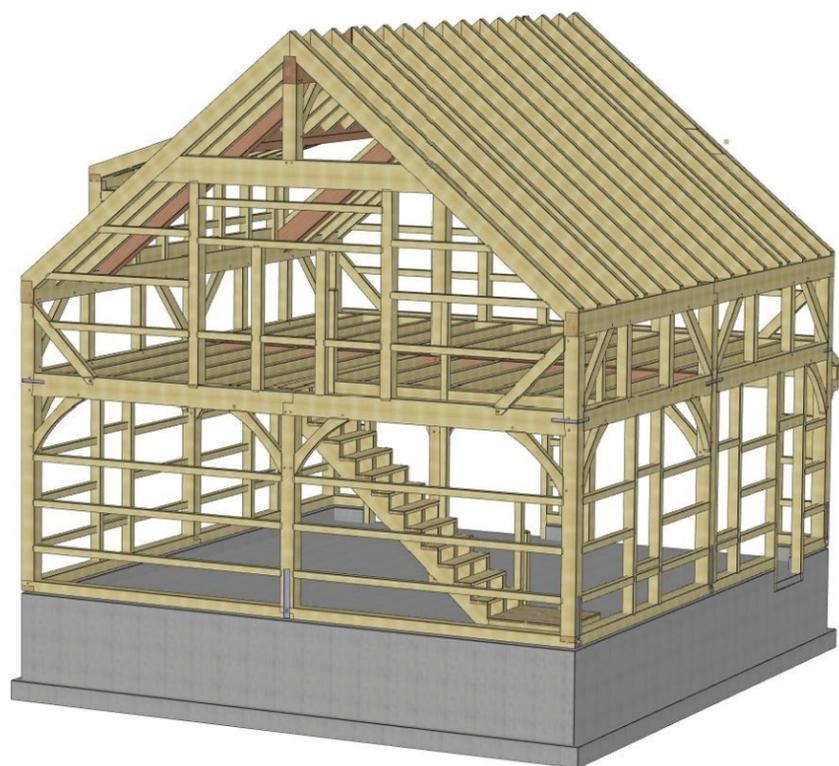
PROJECT TITLE:  
 PLYMOUTH CARRIAGE BARN KIT FOR:  
 ROBERT FOLEY  
 109 POINT HILL ROAD  
 WEST BARNSTABLE, MA 02668

DRAWING TITLE:  
**POST & SILL PLAN**

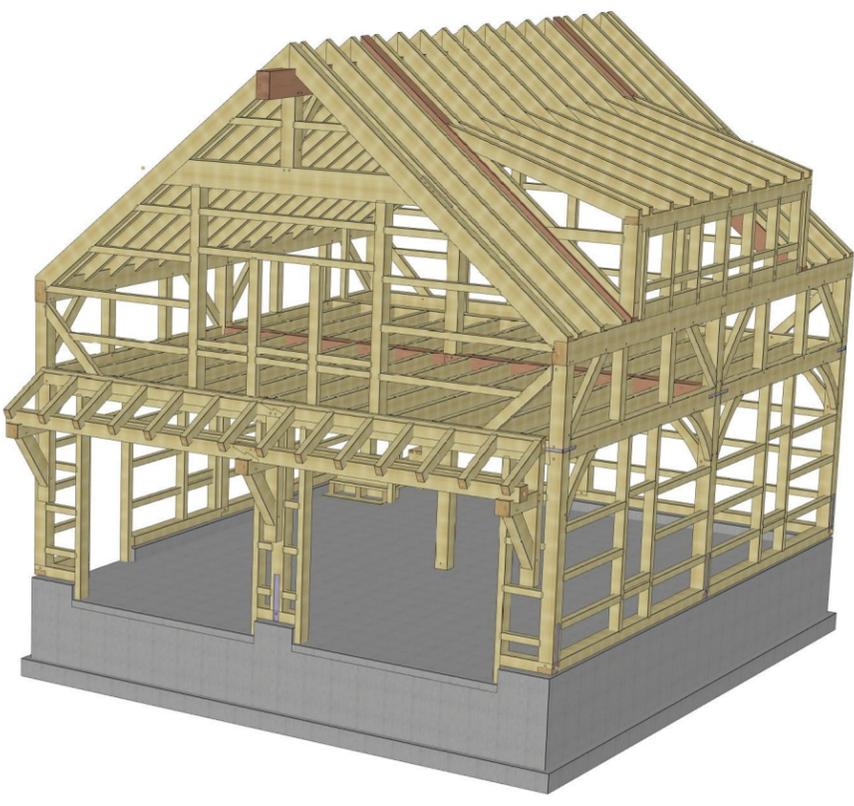
DATE: 11-08-21	SCALE: AS NOTED
DRN BY: LND	TF-3 OF 7
CHK BY: EWS	
PROJECT D: 7254	



**1 POST & SILL PLAN**  
 TF-3 SCALE: 1/8" = 1'-0"



**3 REAR 3D RENDERING**  
 TF-3 SCALE: NTS



**2 FRONT 3D RENDERING**  
 TF-3 SCALE: NTS

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BUILDING CODE:

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CODE 180 CMR NINTH EDITION.

DESIGN NOTES:

DEAD LOADS: SECOND FLOOR: 15 P&F

ROOF: 15 P&F

LIVE LOADS: SECOND FLOOR: 40 P&F

ROOF: 20 P&F

SNOW LOADS: ROOF: 30 P&F

WIND LOADS: BASIC WIND SPEED(V): 140 MPH (3 SEC. GUST)

TIMBER NOTES:

SPECIES: EASTERN WHITE PINE

GRADE: #2 OR BETTER

SURFACE: S4S

SIZING: 1/2" UNDER ROUGH DIM. (8X8 + 1.5"X1.5")

CHAMFERS: (NONE)

FINISH: (NONE)

FASTENER NOTES:

STEEL:

BOLTS, NUTS, WASHERS: DIA. AS NOTED, GALVANIZED, GRADE A307

TIMBER FRAME:

TRADITIONAL MORTISE & TENON JOINERY 3/4" DIA. OAK PEGS AT

BEAM CONNECTIONS.

TRADITIONAL WOOD CONNECTIONS TO BE SUPPLEMENTED BY

STRUCTURAL WOOD SCREWS AS NOTED.

NO. DATE REVISIONS / SUBMISSIONS

SEAL:

PROJECT TITLE:

PLYMOUTH CARRIAGE BARN KIT FOR:

ROBERT FOLEY

109 POINT HILL ROAD

WEST BARNSTABLE, MA 02668

DRAWING TITLE:

FRAMING PLAN

DATE:

11-08-21

SCALE:

AS NOTED

DRWN BY:

LND

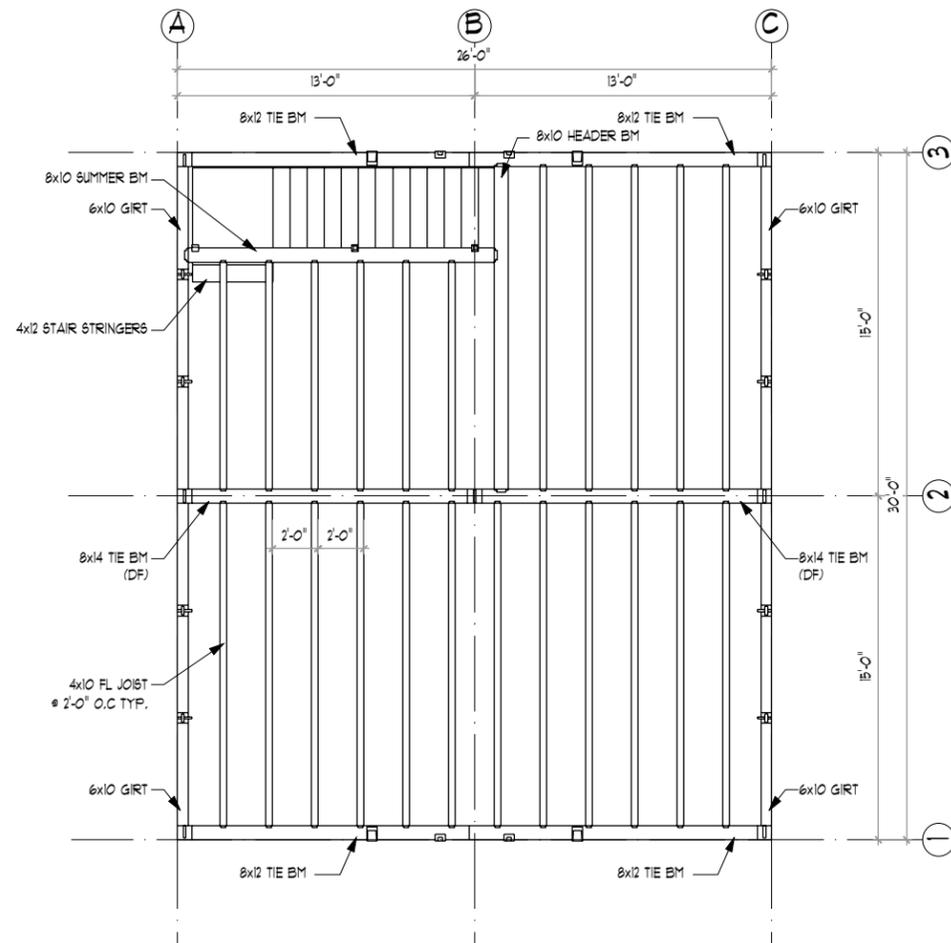
CHK BY:

EWG

PROJECT D:

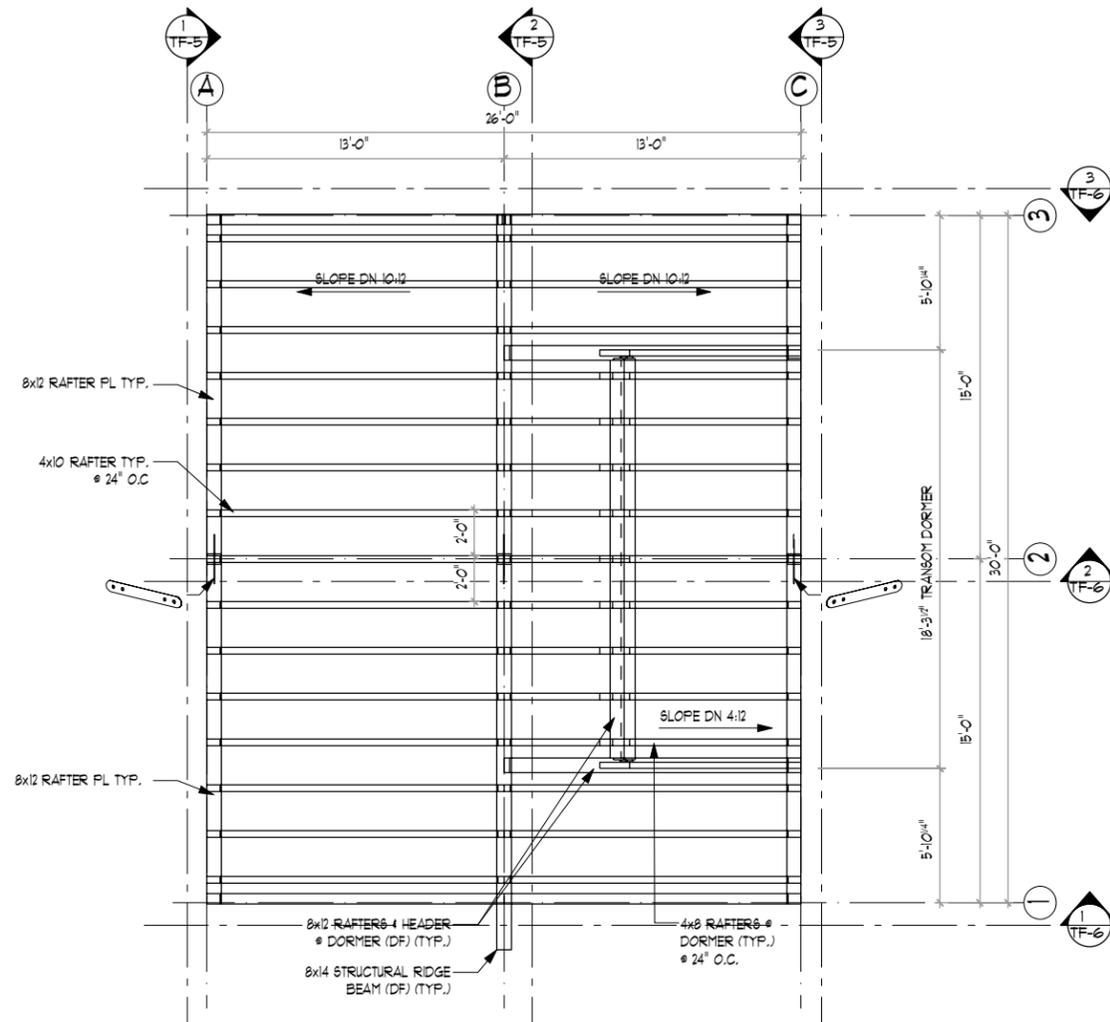
7254

TF-4 OF 1



1 SECOND FLOOR FRAMING PLAN

TF-4 SCALE: 1/8" = 1'-0"



2 ROOF FRAMING PLAN

TF-4 SCALE: 1/8" = 1'-0"

3"x24" KNIFE PL  
W/ (4) 3/4"x4-1/2" STEEL  
PINS (1 OF 3)

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THE BARN YARD

MANUFACTURING & DESIGN FACILITY

9 VILLAGE ST.

ELLINGTON, CT 06028

860.484.9103

SHOWCASE LOCATIONS

120 WEST RD. RTE. 6  
ELLINGTON, CT 06028 BETHEL, CT 06801

860.836.0636 203.740.7433

www.thebarnyard.com CT LICENSE # 558916 MA LICENSE # 121550

BUILDING CODE:  
THE MASSACHUSETTS BUILDING RESIDENTIAL  
CODE 180 CMR NINTH EDITION.

DESIGN NOTES:  
DEAD LOADS: SECOND FLOOR: 15 P&F  
ROOF: 15 P&F

LIVE LOADS: SECOND FLOOR: 40 P&F  
ROOF: 20 P&F

SNOW LOADS: ROOF: 30 P&F  
WIND LOADS: BASIC WIND SPEED(V): 140 MPH (3 SEC. GUST)

TIMBER NOTES:  
SPECIES: EASTERN WHITE PINE

GRADE: #2 OR BETTER

SURFACE: S4S

FINISH: 1/2" UNDER ROUGH DIM. (8X8 + 1.5"X1.5")

CHAMFER: (NONE)

FASTENER NOTES:  
STEEL:  
- BOLTS, NUTS, WASHERS: DIA. AS NOTED, GALVANIZED, GRADE A307

TIMBER FRAME:  
- TRADITIONAL MORTISE & TENON JOINERY 3/4" DIA. OAK PEGS AT BEAM CONNECTIONS.

- TRADITIONAL WOOD CONNECTIONS TO BE SUPPLEMENTED BY STRUCTURAL WOOD SCREWS AS NOTED.

NO. DATE REVISIONS / SUBMISSIONS

SEAL:

PROJECT TITLE:  
PLYMOUTH CARRIAGE BARN KIT FOR:  
ROBERT FOLEY  
109 POINT HILL ROAD  
WEST BARNSTABLE, MA 02668

DRAWING TITLE:  
**FRAMING SECTIONS**

DATE: 11-08-21 SCALE: AS NOTED

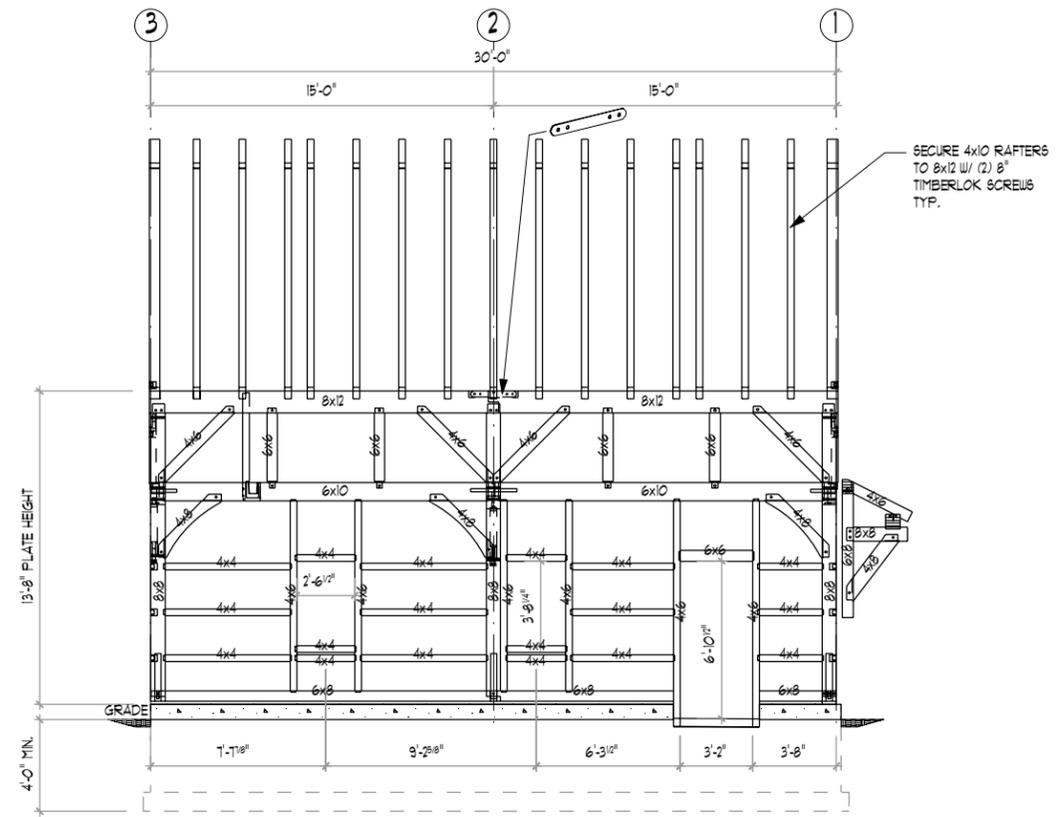
DRWN BY: LND

CHK BY: EWS

PROJECT D: 7254

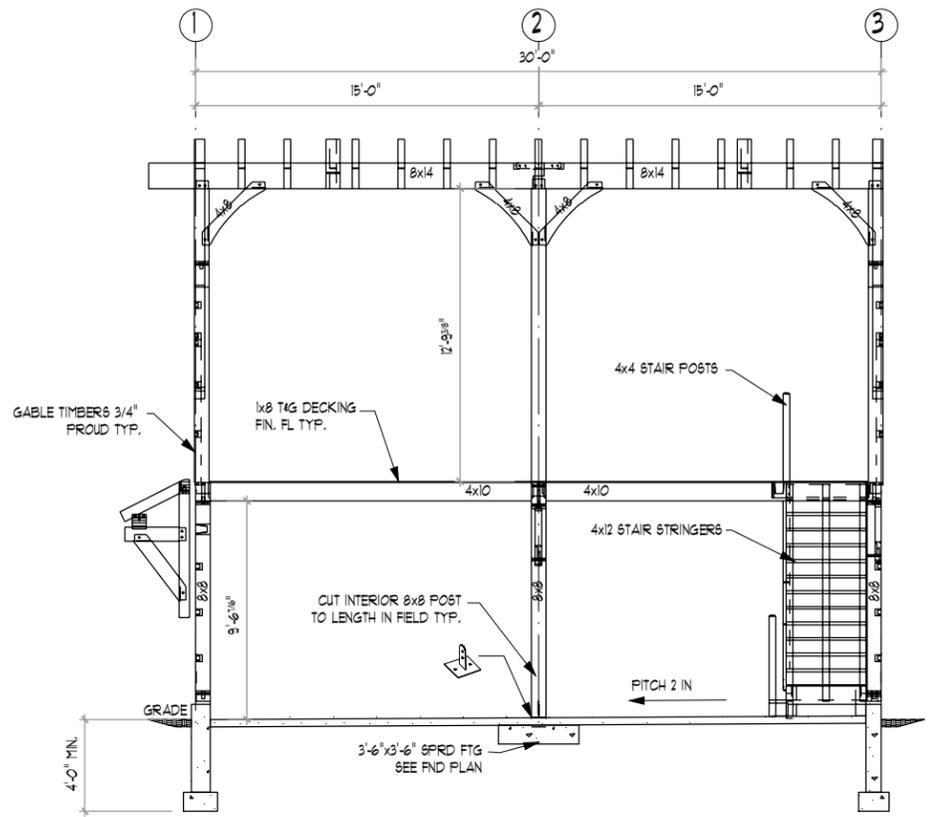
TF-5 OF 7

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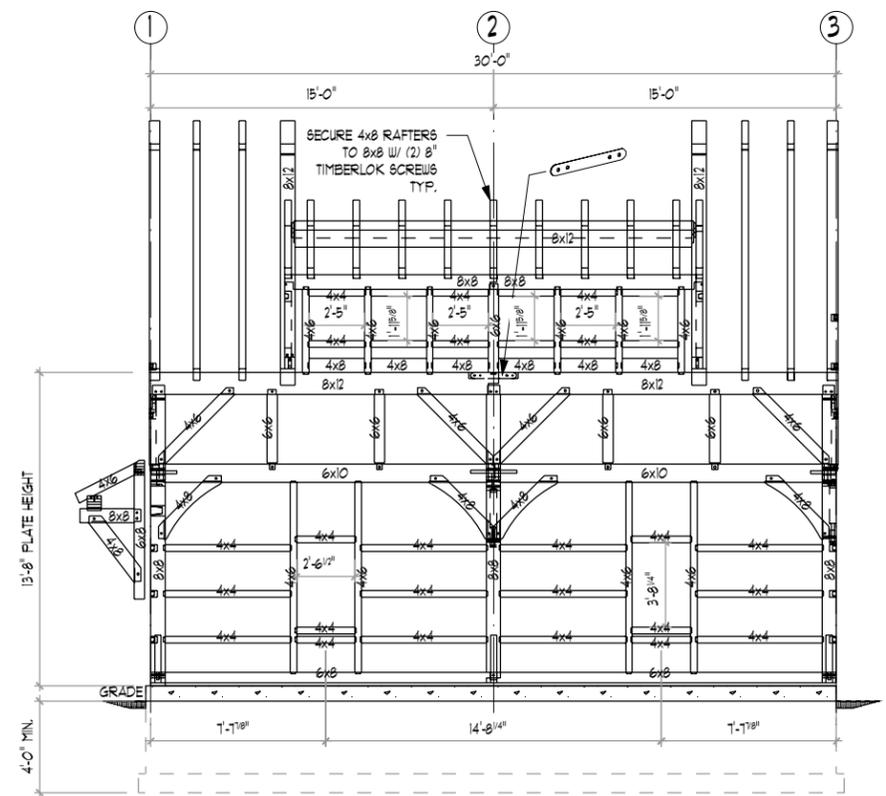
**1 SECTION - LINE A**

TF-5 SCALE: 1/8"=1'-0"



**2 SECTION - LINE B**

TF-5 SCALE: 1/8"=1'-0"



**3 SECTION - LINE C**

TF-5 SCALE: 1/8"=1'-0"

**BUILDING CODE:**  
THE MASSACHUSETTS BUILDING RESIDENTIAL  
CODE 180 CMR NINTH EDITION.

**DESIGN NOTES:**

**DEAD LOADS:** SECOND FLOOR: 15 P&F  
ROOF: 15 P&F

**LIVE LOADS:** SECOND FLOOR: 40 P&F  
ROOF: 20 P&F

**SNOW LOADS:** ROOF: 30 P&F

**WIND LOADS:** BASIC WIND SPEED (V): 140 MPH (3 SEC. GUST)

**TIMBER NOTES:**

**SPECIES:** EASTERN WHITE PINE

**GRADE:** #2 OR BETTER

**SURFACE:** S4S

**SIZING:** 1/2" UNDER ROUGH DIM. (8x8 + 1.5"x1.5")

**CHAMFERS:** (NONE)

**FINISH:** (NONE)

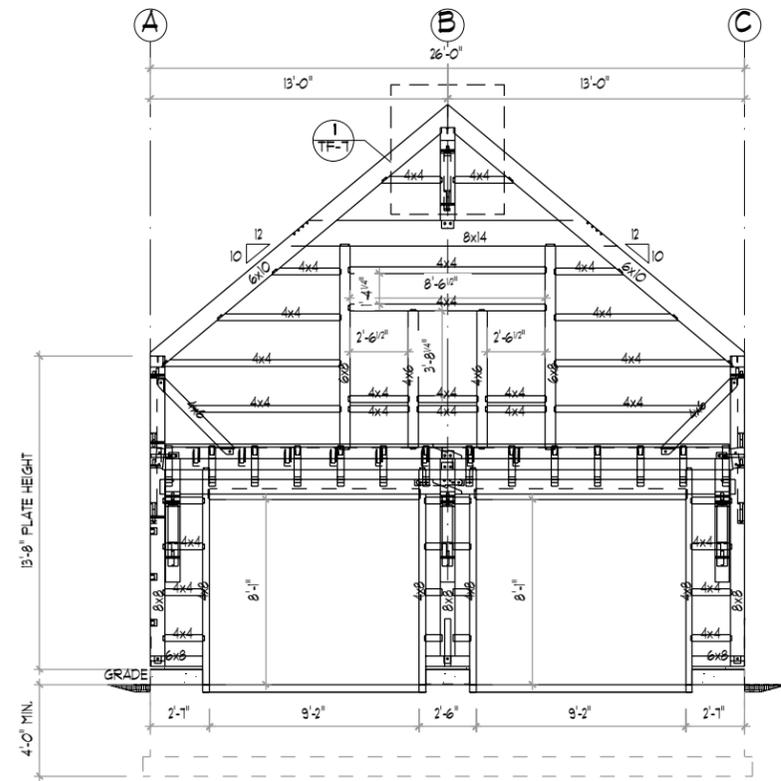
**FASTENER NOTES:**

**STEEL:**

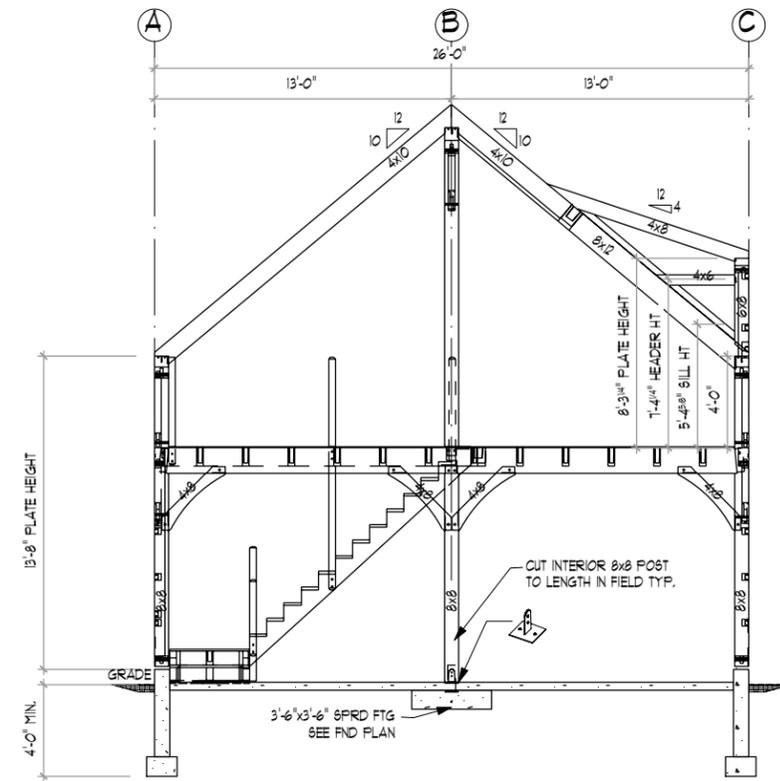
- BOLTS, NUTS, WASHERS: DIA. AS NOTED, GALVANIZED, GRADE A307

**TIMBER FRAME:**

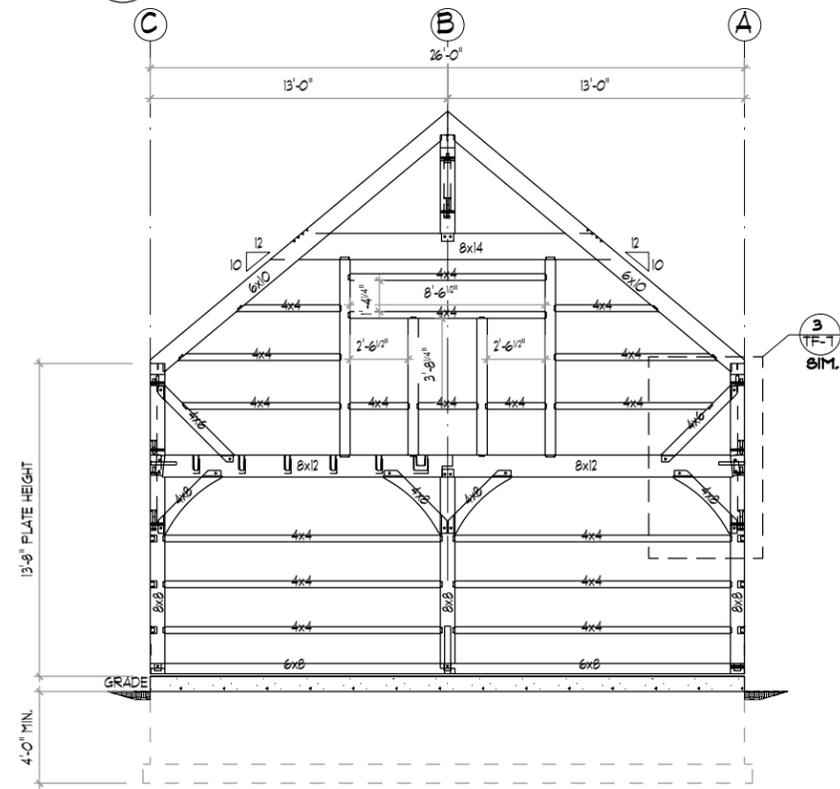
- TRADITIONAL MORTISE & TENON JOINERY 3/4" DIA. OAK PEGS AT BEAM CONNECTIONS.
- TRADITIONAL WOOD CONNECTIONS TO BE SUPPLEMENTED BY STRUCTURAL WOOD SCREWS AS NOTED.



**1 SECTION - LINE 1**  
TF-6 SCALE: 1/8"=1'-0"



**2 SECTION - LINE 2**  
TF-6 SCALE: 1/8"=1'-0"



**3 SECTION - LINE 3**  
TF-6 SCALE: 1/8"=1'-0"

NO.	DATE	REVISIONS / SUBMISSIONS

SEAL:

PROJECT TITLE:  
PLYMOUTH CARRIAGE BARN KIT FOR:  
ROBERT FOLEY  
109 POINT HILL ROAD  
WEST BARNSTABLE, MA 02668

DRAWING TITLE:  
**FRAMING SECTIONS**

DATE: 11-08-21	SCALE: AS NOTED
DRWN BY: LND	TF-6 OF 7
CHK BY: EWS	
PROJECT D: 7254	

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**STRUCTURAL NOTES:**

ALL WORK SHALL CONFORM TO THE CURRENT REQUIREMENTS OF MASSACHUSETTS BUILDING RESIDENTIAL CODE 180 CMR NINTH EDITION. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST ENGINEERING DRAWINGS. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES OPENINGS NOT SPECIFICALLY SHOWN SHALL BE APPROVED BY THE ENGINEER. ALL WORK TO CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS, AND THE OWNERS OR DESIGNATED CONTRACTORS SHALL SECURE APPROPRIATE PERMITS REQUIRED BEFORE COMMENCEMENT OF ACTUAL CONSTRUCTION. ALL CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND ALL OTHER PERSONS ENGAGED IN ANY CAPACITY ON THIS PROJECT SHALL BE SUBJECT TO PROVISIONS OF THE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) WHICH IS ADMINISTERED AND ENFORCED BY U.S. DEPARTMENT OF HEALTH.

**FOUNDATIONS:**

ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL MATERIAL OR GRANULAR FILL. ELEVATIONS OF BOTTOM OF FOOTING SHOWN ON PLANS ARE FOR BIDDING PURPOSES AND SHALL BE LOWERED IF NECESSARY TO THE REQUIRED BEARING MATERIAL AS FOUND UPON EXCAVATION. IF THE REQUIRED BEARING MATERIAL IS NOT ENCOUNTERED AT ELEVATIONS SHOWN, NOTIFY ENGINEER IMMEDIATELY. CONTROLLED BACK FILL AND COMPACTION IF REQUIRED.

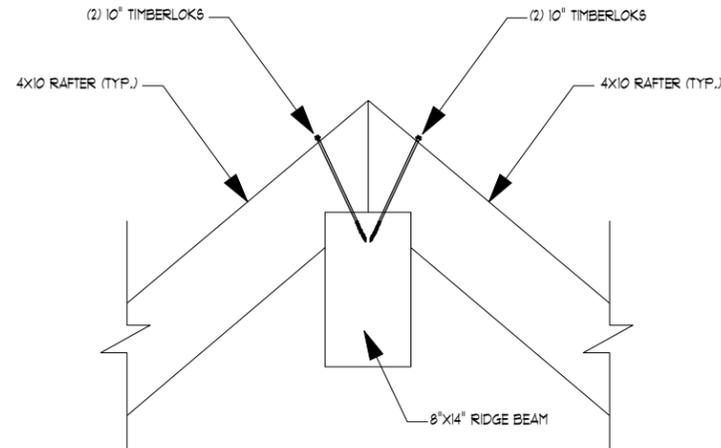
**A. SCOPE:** WHERE UNACCEPTABLE MATERIAL MUST BE REMOVED AND REPLACED WITH PROPER MATERIAL. A CONTROLLED PROCEDURE MUST BE FOLLOWED TO ENSURE PROPER BEARING FOR THE BUILDING.

**B. FILLING AND GRADING:** BEFORE BACK FILLING, REMOVE CONSTRUCTION DEBRIS, STUMPS, TREES, ROOTS, ROD, HEAVY GRASS, DECAYED VEGETABLE MATTER AND OTHER UNSUITABLE MATERIALS. FILL MATERIAL SHALL BE AS APPROVED BY THE ENGINEER.

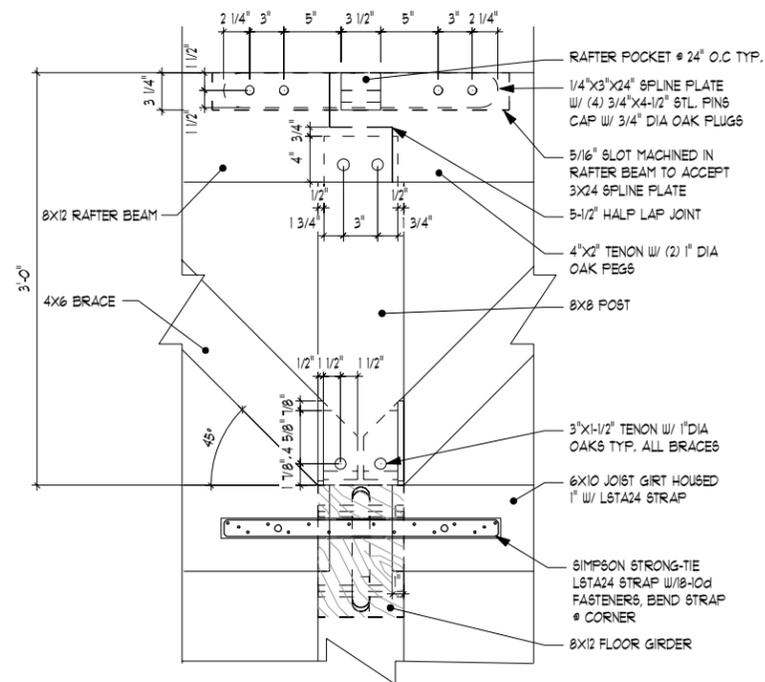
**C. CONSTRUCTION METHODS:** AFTER DEPOSITING FILL OR BACK FILL IN 1 FOOT LIFTS, WELL WASHED IN, COMPACT TO THE FOLLOWING PERCENT OPTIMUM DENSITY. THE DRY DENSITY AFTER COMPACTION SHALL NOT BE LESS THAN 95% OF THE DRY DENSITY FOR THAT SOIL WHEN TESTED IN ACCORDANCE WITH ASTM D1557, METHOD D. IN THIS TEST, MATERIALS RETAINED ON THE THREE-QUARTER SIEVE SHALL BE REPLACED WITH MATERIAL RETAINED ON THE NO. 4 SIEVE, AS NOTED AS AN OPTION IN THE SPECIFICATIONS FOR THIS TEST.

**D. FIELD TESTS:** PERFORM ONE FIELD DENSITY TEST FOR EACH SOURCE OF FILL MATERIAL PERFORMED IN ACCORDANCE WITH ASTM D1556. PERFORM STANDARD FIELD DENSITY TESTS EACH OF AN ACCURACY OF PLUS OR MINUS ONE PERCENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER AND TESTING LABORATORY WHEN EACH LAYER OF FILL IS TO BE PLACED AND READY FOR TESTING. THE CONTRACTOR SHALL ALLOW AMPLE TIME FOR TESTING. IF ANY FILL IS PLACED IN EXCESS OF SIXTEEN (16) WITHOUT TESTING, IT SHALL BE SUBJECT TO REMOVAL. SIEVE ANALYSIS SHALL BE AT THE CONTRACTOR'S EXPENSE.

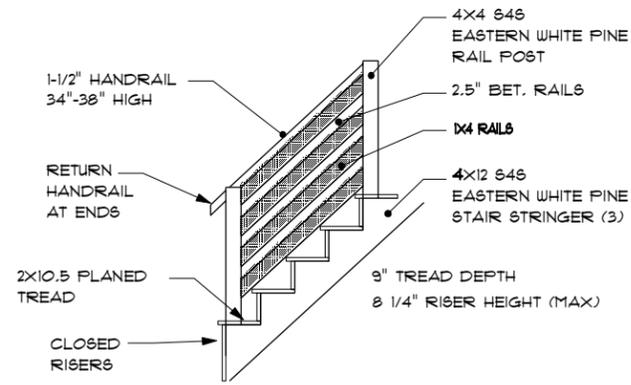
**E. OBSERVATION:** ALL EXCAVATION OF UNACCEPTABLE MATERIAL, INSTALLATION OF CONTROLLED FILL, COMPACTION, FIELD TESTING AND LABORATORY TESTING SHALL BE DONE UNDER THE SUPERVISION OF A TESTING LABORATORY WHO SHALL PROVIDE WRITTEN REPORTS OF ALL PHASES OF THE WORK TO THE ENGINEER.



**1 FRAMING DETAIL**  
TF-1 SCALE: 3/4"=1'-0"

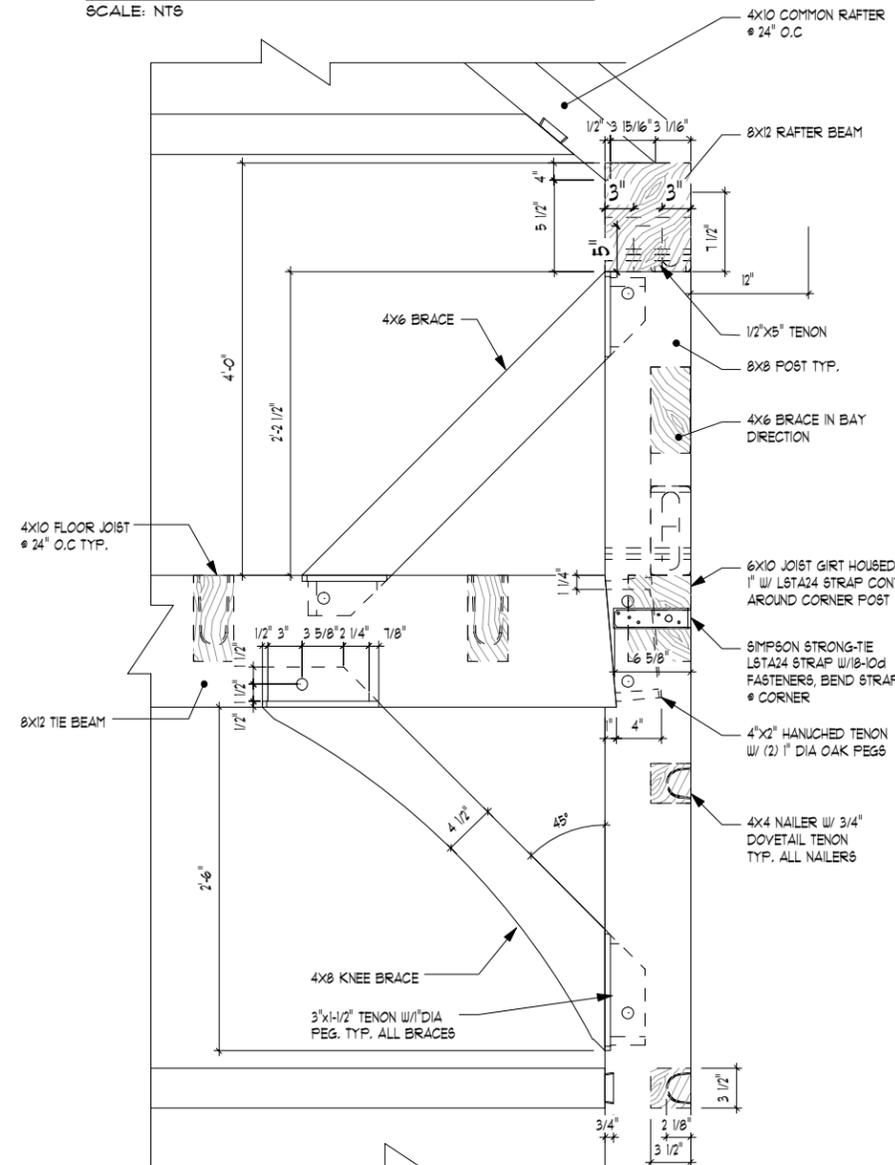


**2 FRAMING DETAIL**  
TF-1 SCALE: 3/4"=1'-0"



ALL HANDRAILS, RISERS & TREADS TO MEET CODE REQUIREMENTS NO OPENINGS MORE THAN 4" DIAMETER

**STAIR / HANDRAIL DETAILS**  
SCALE: NTS



**3 FRAMING DETAIL**  
TF-1 SCALE: 3/4"=1'-0"

**The BARN YARD**  
THE BARN YARD  
MANUFACTURING & DESIGN FACILITY  
9 VILLAGE ST.  
ELLINGTON, CT 06028  
860.484.9103  
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120 WEST RD. RTE. 6  
ELLINGTON, CT 06028 BETHEL, CT 06801  
860.836.0636 203.740.7433  
www.greatcountrygarages.com CT LICENSE # 558916 MA LICENSE # 121550

**BUILDING CODE:**  
THE MASSACHUSETTS BUILDING RESIDENTIAL CODE 180 CMR NINTH EDITION.

**DESIGN NOTES:**

**DEAD LOADS:** SECOND FLOOR: 15 P&F  
ROOF: 15 P&F

**LIVE LOADS:** SECOND FLOOR: 40 P&F  
ROOF: 20 P&F

**SNOW LOADS:** ROOF: 30 P&F

**WIND LOADS:** BASIC WIND SPEED (V): 140 MPH (3 SEC. GUST)

**TIMBER NOTES:**

**SPECIES:** EASTERN WHITE PINE  
**GRADE:** #2 OR BETTER  
**SURFACE:** 646  
**SIZING:** 1/2" UNDER ROUGH DIM. (8X8 + 1.5"X1.5")  
**CHAMFER:** (NONE)  
**FINISH:** (NONE)

**FASTENER NOTES:**

**STEEL:**  
- BOLTS, NUTS, WASHERS: DIA. AS NOTED, GALVANIZED, GRADE A307

**TIMBER FRAME:**  
- TRADITIONAL MORTISE & TENON JOINERY W/ 1" DIA. OAK PEGS AT BEAM CONNECTIONS.  
- TRADITIONAL WOOD CONNECTIONS TO BE SUPPLEMENTED BY STRUCTURAL WOOD SCREWS AS NOTED.

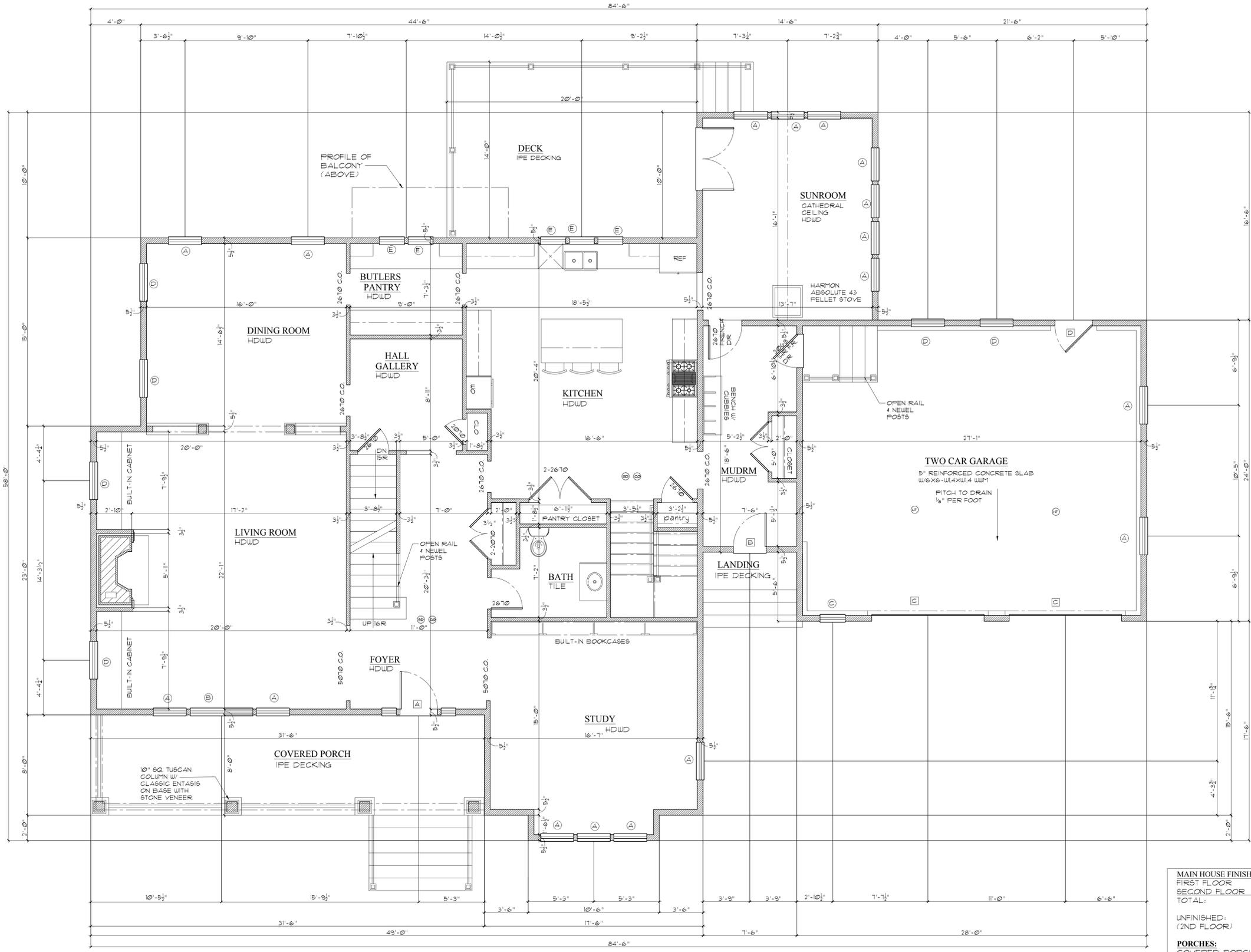
NO.	DATE	REVISIONS / SUBMISSIONS

**PROJECT TITLE:**  
PLYMOUTH CARRIAGE BARN KIT FOR:  
ROBERT FOLEY  
109 POINT HILL ROAD  
WEST BARNSTABLE, MA 02668

**NOTES & DETAILS**

DATE:	11-08-21	SCALE:	AS NOTED
DRW BY:	LND	PROJECT D:	TF-1 OF 1
CHK BY:	EWG		
PROJECT D:	7254		

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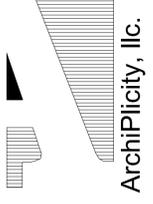
**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**PROGRESS ONLY**  
12.13.21

<b>MAIN HOUSE FINISHED:</b>	
FIRST FLOOR	2346 S.F.
SECOND FLOOR	1638 S.F.
TOTAL	3984 S.F.
<b>UNFINISHED:</b> 309 S.F.	
(2ND FLOOR)	
<b>PORCHES:</b>	
COVERED PORCH:	252 S.F.
DECK	280 S.F.
TOTAL	532 S.F.
<b>GARAGE</b>	
FIRST FLR:	672 S.F.

NO.	DESCRIPTION	BY	DATE

**FOLEY RESIDENCE**  
109 Point Hill Road  
W. Barnstable, MA  
02668



**Archiplicity, llc.**  
Jennifer Birmstiel  
PO Box 6326  
Plymouth MA 02362  
508.789.7184  
info@archiplicity.com

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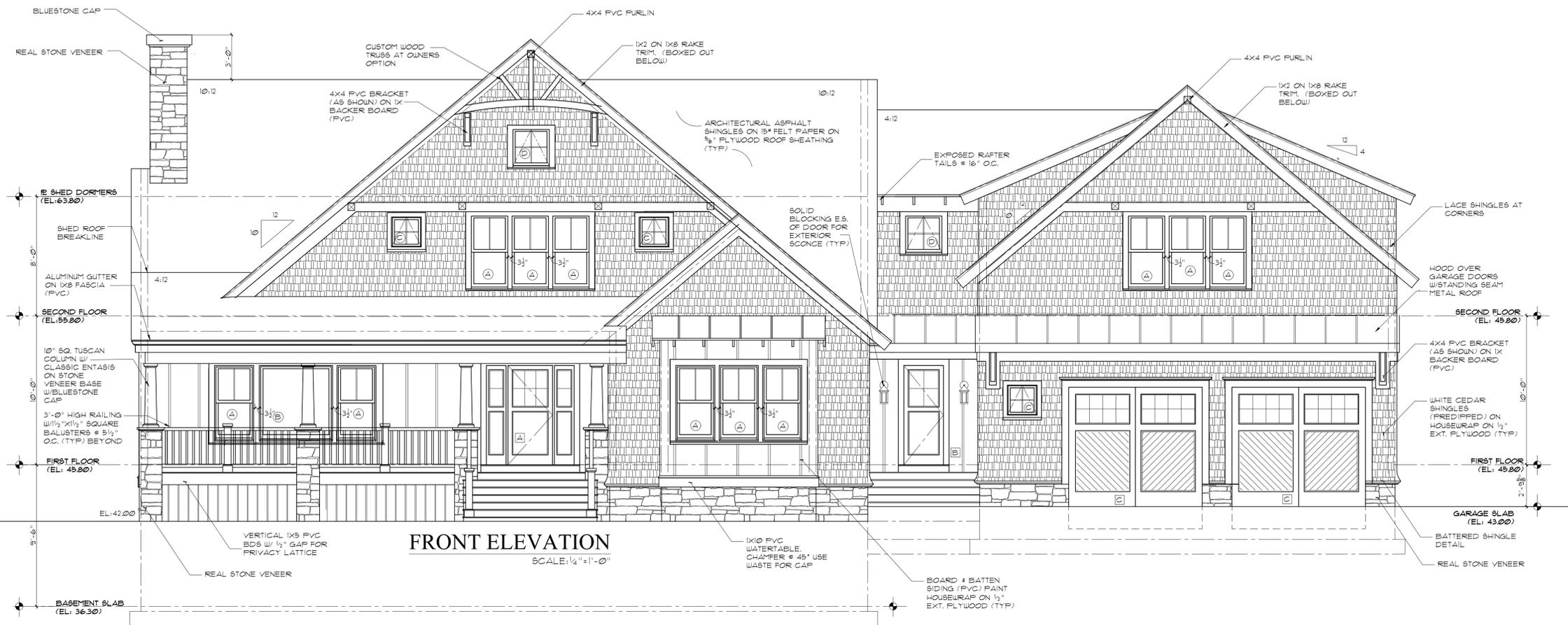
**CONSTRUCTION DOCUMENTS**

SHEET NAME  
**FIRST FLOOR PLAN**

SCALE	AS NOTED
DATE	12/13/21
DRAWN BY	JLB

SHEET NO  
**1**





**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**PROGRESS ONLY**  
12.13.21

NO.	DESCRIPTION	BY	DATE

**FOLEY RESIDENCE**

109 Point Hill Road  
W. Barnstable, MA  
02668

**ArchPlicity, llc.**

Jennifer Birmstiel  
PO Box 6326  
Plymouth MA 02362  
508.789.7184  
info@archplicity.com

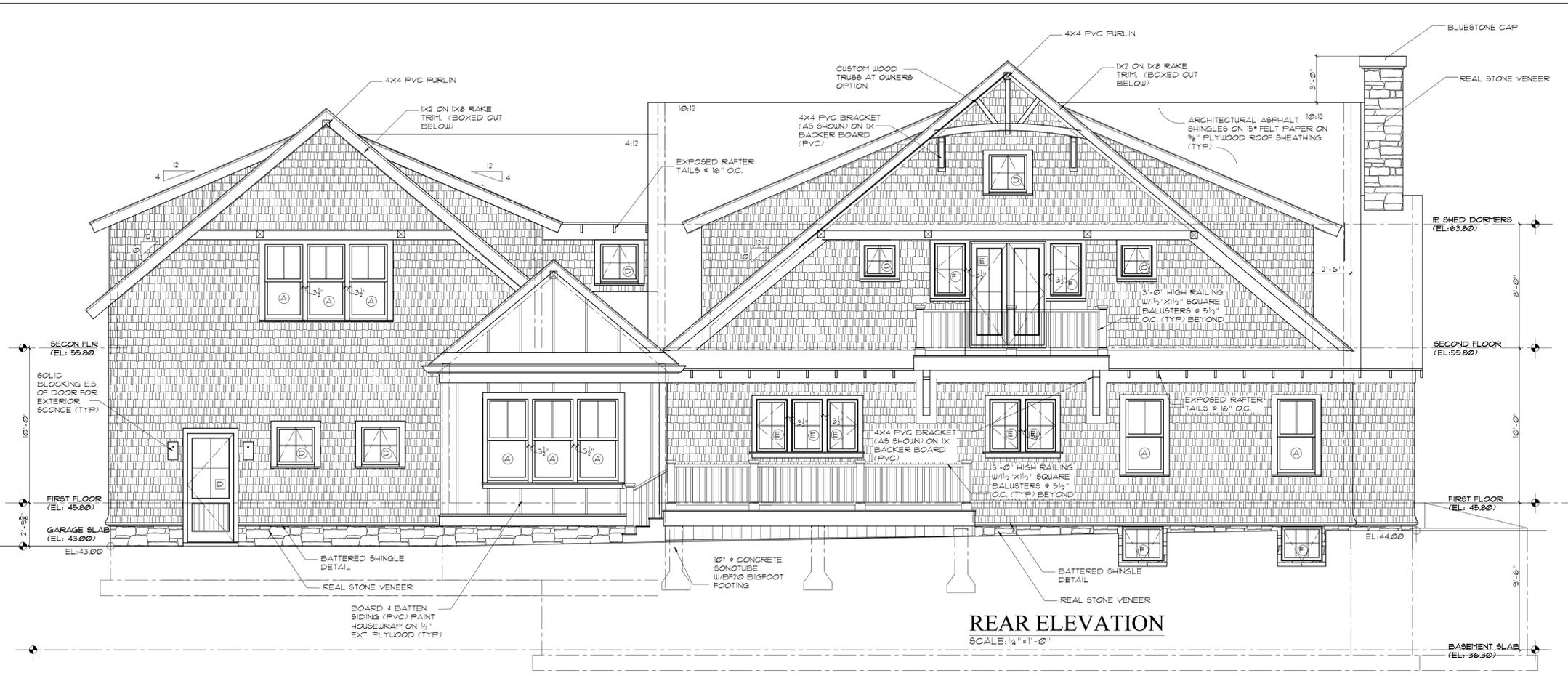
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CONSTRUCTION DOCUMENTS

SHEET NAME  
ELEVATIONS

SCALE	AS NOTED
DATE	12.13.21
DRAWN BY	JLB

SHEET NO  
**3**



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**PROGRESS ONLY**  
12.13.21

NO.	DESCRIPTION	BY	DATE

**FOLEY RESIDENCE**

109 Point Hill Road  
W. Barnstable, MA  
02668

**Archiplicity, Inc.**

Jennifer Birmstiel  
PO Box 6326  
Plymouth MA 02362  
508.789.7184  
info@archiplicity.com

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**CONSTRUCTION DOCUMENTS**

SHEET NAME  
**ELEVATIONS**

SCALE AS NOTED  
DATE 12.13.21  
DRAWN BY JLB

SHEET NO  
**4**

**LEGEND**

- 99 - EXISTING CONTOUR
- X 99.7 - EXIST. SPOT ELEV.
- [99] - PROPOSED CONTOUR
- [98.4] - PROPOSED SPOT EL.
- TH1 - TEST HOLE
- 2% - SLOPE OF GROUND
- U - UTILITY POLE
- FH - FIRE HYDRANT

NOTE: NOT ALL SYMBOLS MAY APPEAR IN DRAWING

**SYSTEM DESIGN:**

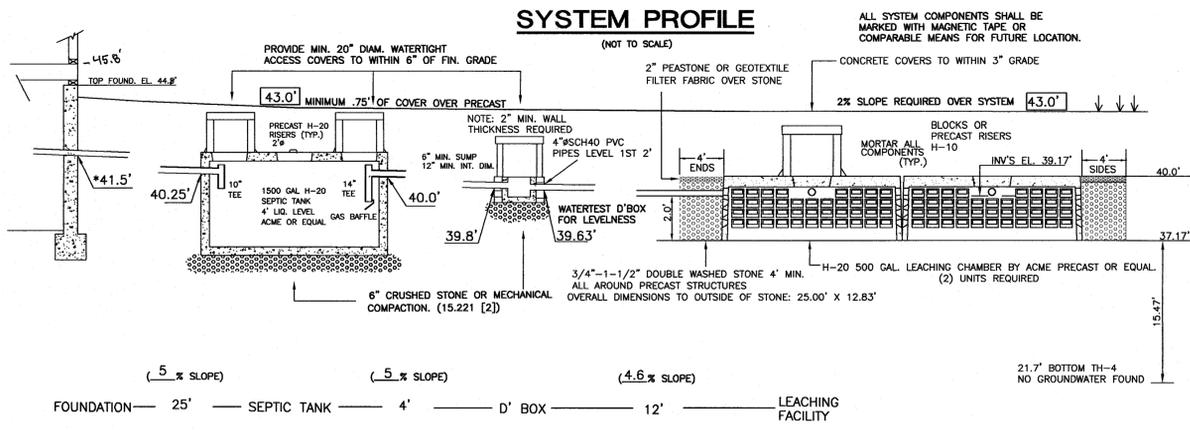
GARBAGE DISPOSER IS NOT ALLOWED

PROPOSED 3 BEDROOM DWELLING  
 DESIGN FLOW: 3 BEDROOMS @ 110 GPD = 330 GPD  
 USE A 330 GPD DESIGN FLOW

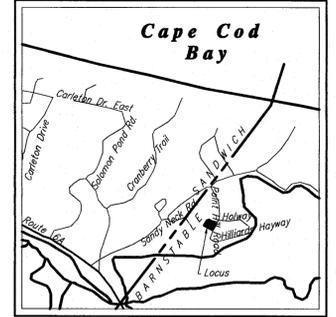
SEPTIC TANK: 330 GPD (2) = 660  
 USE A 1500 GAL. SEPTIC TANK

LEACHING:  
 SIDES: 2 (25 + 12.83) 2 (.74) = 112 GPD  
 BOTTOM 25 x 12.83 (.74) = 237 GPD  
 TOTAL: 472 S.F. 349 GPD

USE (2) 500 GAL. LEACHING CHAMBERS (ACME OR EQUAL)  
 WITH 4" STONE ALL AROUND



- NOTES**
- DATUM IS NAVD88
  - MUNICIPAL WATER IS NOT AVAILABLE
  - MINIMUM PIPE PITCH TO BE 1/8" PER FOOT.
  - DESIGN LOADING FOR ALL PROPOSED PRECAST UNITS TO BE AASHO H-20
  - PIPE JOINTS TO BE MADE WATERTIGHT.
  - CONSTRUCTION DETAILS TO BE IN ACCORDANCE WITH 310 CMR 15.000 (TITLE 5.)
  - THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
  - PIPE FOR SEPTIC SYSTEM TO SCH. 40-4" PVC.
  - COMPONENTS NOT TO BE BACKFILLED OR CONCEALED WITHOUT INSPECTION BY BOARD OF HEALTH AND PERMISSION OBTAINED FROM BOARD OF HEALTH.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
  - ANY UNSUITABLE MATERIAL ENCOUNTERED SHALL BE REMOVED BENEATH AND 5' AROUND THE PROPOSED LEACHING FACILITY.
  - POOL FENCE SHALL HAVE SELF-CLOSING SELF-LATCHING GATES, SIZE AND MATERIALS TO MEET LOCAL AND STATE BUILDING CODE. ALL DWELLING DOORS OPENING TO POOL SHALL BE ALARMED TO CODE.
  - GUTTERS AND DOWNSPOUTS TO BE DIRECTED TO DRYWELLS
  - BUILDING PERMIT OR COC WILL NOT ISSUE WITHOUT A CERTIFICATE OF APPROVAL FOR THE WELL



**LOCUS MAP**  
SCALE 1"=2000'  
ASSESSORS MAP 136 PARCEL 20

**ZONING SUMMARY**

ZONING DISTRICT: RF DISTRICT

MIN. LOT SIZE 87,120 S.F.  
 MIN. LOT FRONTAGE 150'  
 MIN. FRONT SETBACK 30'  
 MIN. SIDE SETBACK 15'  
 MIN. REAR SETBACK 15'  
 MAX. BUILDING HEIGHT 30'

SITE IS LOCATED WITHIN THE RESOURCE PROTECTION OVERLAY DISTRICT

SITE IS LOCATED WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT

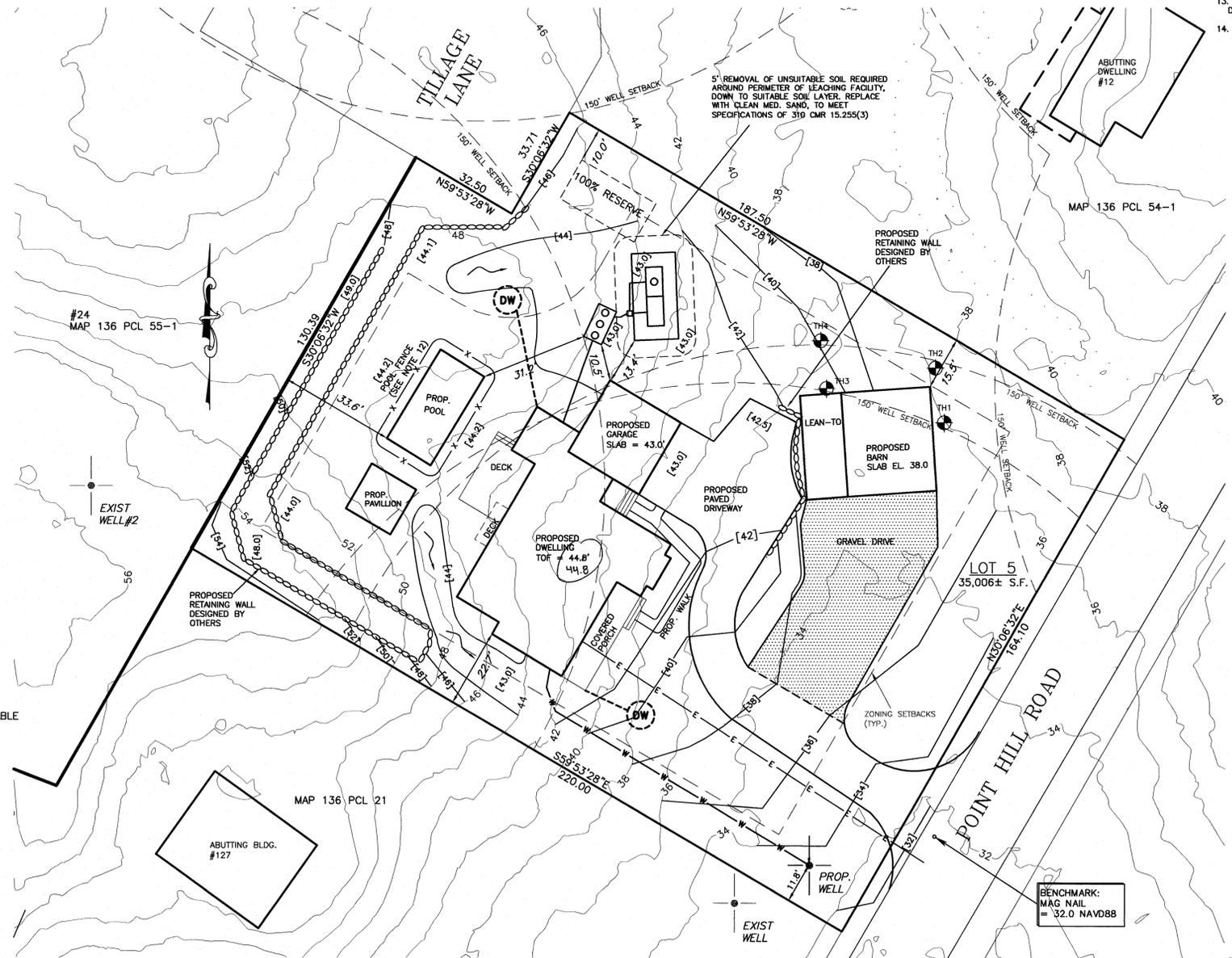
VARIANCE REQUESTED UNDER TOWN OF BARNSTABLE ART. II SECTION 397-2: TO ALLOW THE INSTALLATION OF A PRIVATE WATER SUPPLY AND PRIVATE SEWAGE DISPOSAL SYSTEM ON A LOT CONTAINING AN AREA LESS THAN 40,000 SF OF BUILDABLE LAND

**TEST HOLE LOGS**

ENGINEER: DAVID THULIN  
 WITNESS: DONALD DESMARAIS  
 DATE: 5/20/2011  
 PERC. RATE = < 5 MIN/INCH  
 CLASS I SOILS P# 13281

DEPTH	SOIL TYPE	PERC.	DEPTH	SOIL TYPE	PERC.
0" - 18"	A LOAM 7.5YR 4/1		0" - 12"	A LOAM 7.5YR 4/1	
18" - 58"	B SL 7.5YR 5/6		12" - 52"	B SL 7.5YR 5/6	
58" - 98"	C1 F/CS 7.5YR 6/6		52" - 80"	C1 F/MS 7.5YR 6/6	
98" - 150"	C2 FS 10YR 6/4		80" - 164"	C2 FS 10YR 6/4	
NO GROUNDWATER ENCOUNTERED					

DEPTH	SOIL TYPE	PERC.	DEPTH	SOIL TYPE	PERC.
0" - 8"	A LOAM 7.5YR 4/1		0" - 12"	A LOAM 7.5YR 4/1	
8" - 38"	B SL 7.5YR 5/6		12" - 40"	B SL 7.5YR 5/6	
38" - 60"	C1 F/MS 7.5YR 6/6		40" - 66"	C1 F/MS 7.5YR 6/6	
60" - 90"	C2 MS 7.5YR 6/6		66" - 101"	C2 FS 10YR 6/4	
90" - 122"	C3 FS 10YR 6/4		101" - 124"	C3 LS 10YR 6/1	
NO GROUNDWATER ENCOUNTERED					



off 508-362-4541  
 fax 508-362-9880  
 downcape.com  
**down cape engineering, inc.**  
 civil engineers  
 land surveyors  
 939 Main Street (Rte 6A)  
 YARMOUTHPORT MA 02675



### Legend

Road Names



Map printed on: 2/4/2022



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

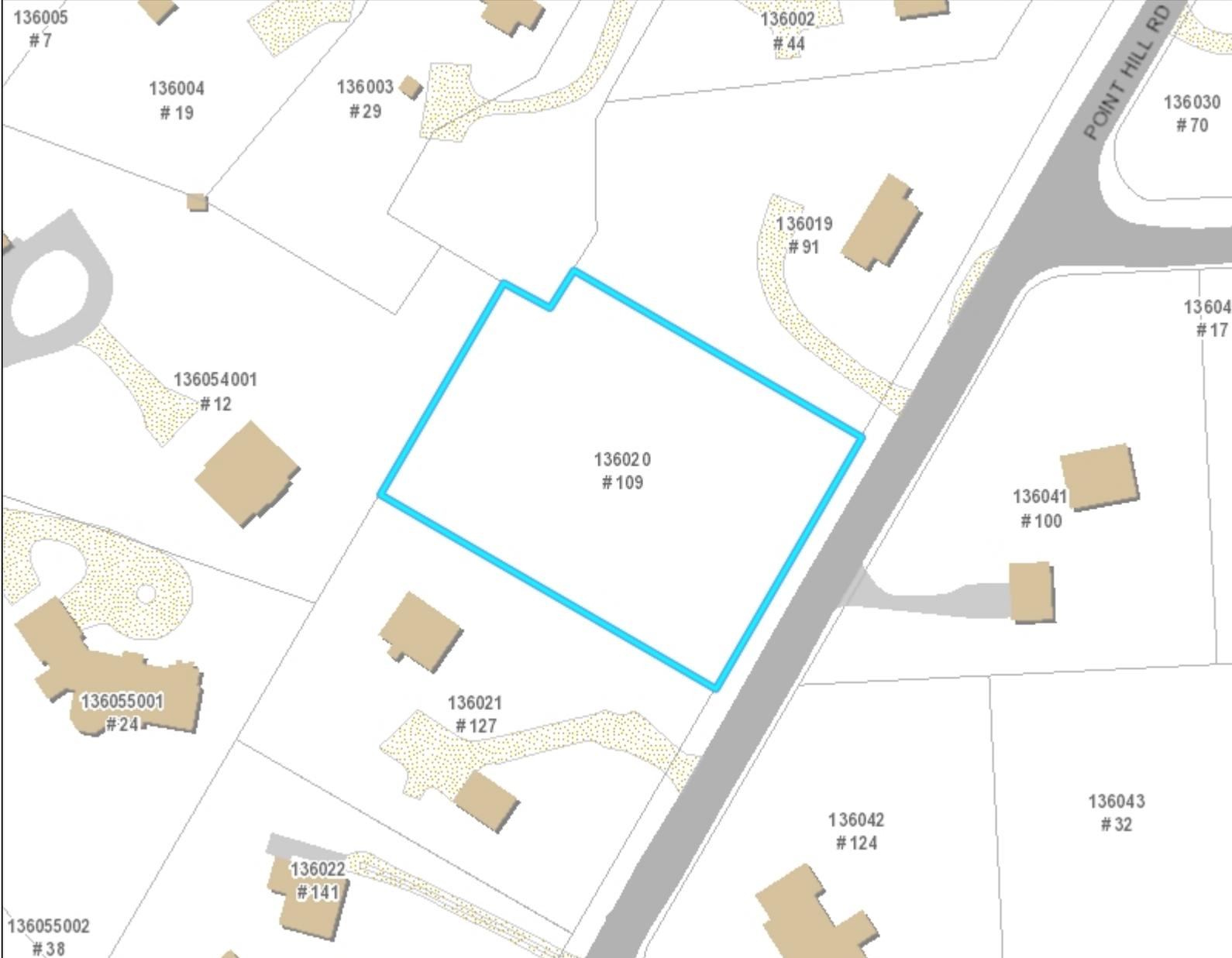


### Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 2/4/2022



Approx. Scale: 1 inch = 83 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Property ID: 136019

TYNI. DONALD E & KATHLEEN J TRS  
TYNI FAMILY REALTY TRUST  
91 POINT HILL ROAD  
WEST BARNSTABLE. MA 02668

Property ID: 136020

FOLEY. ROBERT J & MARY K  
175 SILVER STREET  
GREENFIELD. MA 01301

Property ID: 136021

PACI. MARK & MCHUGH-MULLANE. BRIGHID  
127 POINT HILL ROAD  
BARNSTABLE. MA 02668

Property ID: 136041

NIEDZWIECKI. MELISSA F & PAUL JAMES  
97 ISALENE STREET  
HYANNIS. MA 02601

Property ID: 136042

BURGOYNE. JOHN TR  
FIRST POINT HILL REALTY TRUST  
124 POINT HILL ROAD  
WEST BARNSTABLE. MA 02668

Property ID: 136054001

BESS. JOEL F  
12 BRIAR LN  
WEST BARNSTABLE. MA 02668



**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
 Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 1/12/2022 **Map & Parcel** 217/032

**Property Owner** Rebecca Horn Phone (774) 810-0030

Street address 40 MAGGIE LANE Email rebecca.j.horn@gmail.com

Village West Barnstable

Mailing address 40 Maggie Ln, Barnstable, MA 02668 Signature see attached contract

**Agent/Contractor** Nathan Tissot/Tesla Energy Phone 781-635-1030

Agent Address 125 John Hancock Rd Taunton MA 02780 Email ntissot@tesla.com

Agent Signature Nathan Tissot

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

	<input type="checkbox"/> New Build	<input type="checkbox"/> Additi	<b>Check all categories that apply</b>	<input type="checkbox"/> Residential	<input type="checkbox"/> Commercial
<b>Building Construction</b>					
<b>Type of Building</b>	<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Other
<b>Project</b>	<input type="checkbox"/> Roof	<input type="checkbox"/> Windows/Doors	<input type="checkbox"/> Siding/Painting	<input checked="" type="checkbox"/> Solar	<input type="checkbox"/> Other
<b>Landscape Feature</b>	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other
<b>Signs</b>	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other	

**Description of Proposed Work** Install 10 solar panels on rear roof of home

**DENIED**

	<p><i>for Committee use only</i> <b>This Certificate is hereby</b> <b>APPROVED</b></p> <p>By a vote of <u>    </u> Aye <u>    </u> Nay <u>    </u> Abstain <u>    </u> Date <u>    </u></p> <p><i>Members signatures</i></p> <p><i>Conditions of Approval</i></p>
--	---

## CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

### CHIMNEY

Material  Color

### ROOF

Make & style  Color

Roof Pitch (s) – (7/12 minimum)   
*(specify on plans for new building & major additions)*

### GUTTER

Type/Material  Color

### WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

Window/Door Trim material Wood  Other specify

Size of cornerboards  Size of casings (1X4 min)  Color

Rakes 1<sup>st</sup> member  2<sup>nd</sup> Member  Depth of overhang

Windows: Make/Model  Material  Color

Window Grills Divided Light  Exterior Glued Grills  Grills Between Glass

Removable Interior Grills  No Grills  Grill Pattern

Doors: Style & Make  Material  Color

Garage doors: Style  Size of opening  Material

Color

Shutters: Type & Style  Material  Color

Skylights: Type  Make & Model

Material  Size  Color

### SIDING

Type Clapboard  Shingle  Other

Material Red Cedar  White Cedar  Other

Paint Color

### FOUNDATION

Type  *(max 12' exposed)*

### DECK

Material  Color

### SIGNS

Size  Materials  Color

### FENCE

Type  *(split rail, chain link)* Color

Material  Length

### RETAING WALL

Description

### LIGHTING

Type and location (free standing affixed to structure, illuminated)

# CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

**Submit six (6) complete colored sets, unless otherwise noted**

## **FEES**

- .... **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- .... **Legal Ad fee**, in the amount of **\$19.84**, made payable to the Town of Barnstable
- .... **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

## **ALTERATIONS** *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures and color samples
- .... Plans of building elevations/photographs, **ONLY** if there is a change to the location and size of the window (s) or Door (s).

## **MINOR ADDITIONS** *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... **Application for Certificate of Appropriateness**,
- .... **Spec Sheet**, brochures and color samples
- .... **Site Plan**, **ONLY** if there are changes to the footprint *(see site plan criteria below)*  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... **Photographs** of all building elevation affected by any proposed alterations
- .... **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper  
Company brochure of manufacturers shed or to-scale sketch **or** affected structure or building elevations

## **ASSESSORY STRUCTURES, NEW/ALTERED** *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures &/or diagram
- .... **Site Plan** *(see site plan criteria below)*
- .... **Photographs** of any existing structure that will be affected by the change

## **SIGNS** *(complete sign supplement)*

- .... **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

## **SOLAR PANELS** *(complete solar panel supplement)*

- .... **Drawing** of locations of panels on house showing roof and panel dimensions
- .... **Site Plan** showing location of building on property *(see site plan criteria below)*

## **SITE PLAN CRITERIA**

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

**Submit Six (6) complete colored sets, unless otherwise noted**

..... **Application for Certificate of Appropriateness**

..... **Spec Sheet**, brochures or diagram

..... **Site Plan**

- ..... Name of applicant, street location, map and parcel
- ..... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ..... North arrow, written and drawn to scale
- ..... Changes to existing grades shown with one-foot contours
- ..... Proposed & existing footprint of building and/or structures, and distance to lot lines
- ..... Proposed driveway location
- ..... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ..... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

..... **Building Elevations**

- ..... Plans at scale of 1/4" = 1 foot; a written drawn scale
- ..... Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
- ..... Name of applicant, street location, map and parcel
- ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ..... A written and bar drawn scale
- ..... Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ..... Window schedule on plans

..... **Landscape Plan** (drawn on a certified perimeter plan containing the following)

- ..... Name of applicant, street address, assessor's map and parcel number
- ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ..... The location of existing and proposed buildings and structures, and lot lines
- ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ..... Existing buffer areas to remain
- ..... Location and species of trees and plants
- ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
- ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
*For removal of stone walls, you must file a demolition application*
- ..... All proposed exterior lighting and signs

..... **Sketch or Photos of adjacent properties**

- ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,
- ..... Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
*Please discuss with staff if you do not think this is relevant to your application.*

..... **Photographs of all sides of existing buildings** to remain or being added to

**Existing building, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Existing building, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Plan preparer, signature and date**

--	--

# SOLAR PANEL SUPPLEMENT

## STRUCTURE ONE

### STRUCTURE TYPE

Home Garage Barn 

### ELEVATION PLACEMENT

North South East West 

### ROOF MEASUREMENTS

Length Height Pitch 

### SOLAR PANEL MEASUREMENTS

Length Depth Width 

### SOLAR PANEL TYPE & FINISH

Color Finish (matte or glossy) 

## STRUCTURE TWO

### STRUCTURE TYPE

Home Garage Barn 

### ELEVATION PLACEMENT

North South East West 

### ROOF MEASUREMENTS

Length Height Pitch 

### SOLAR PANEL MEASUREMENTS

Length Depth Width 

### SOLAR PANEL TYPE & FINISH

Type

Roof Mounted Ground Mounted Canopy/Carport System Color Finish (matte or glossy) **Solar Company**

Tesla Energy

781-635-1030

Phone

**Solar representative**

Nathan Tissot

*Nathan Tissot*

Print Name

Signature

**Date**

1/12/2022





## SOLAR PURCHASE DISCLOSURE

This disclosure is designed to help you understand the key terms of your purchase of a solar electric system ("System"). It is not a substitute for your purchase contract ("Contract"), loan or any other documents associated with this transaction. Information presented below is subject to the terms of your Contract.

**Read all documents carefully so you fully understand the transaction.**

For more information on becoming a smart solar consumer please visit [www.seia.org/consumers](http://www.seia.org/consumers).

**Provider:** Tesla, Inc.  
**Address:** 3500 Deer Creek Road  
Palo Alto, CA 94304  
**Tel.:** 888-518-3752  
**License # (if applicable):** MA HIC  
187310  
**Email:**  
energycustomersupport@tesla.com

**Installer:** Tesla Energy Operations,  
Inc.  
**Address:** 901 Page Avenue  
Fremont, CA 94538  
**Tel.:** 888-765-2489  
**State/County Contractor License #:**  
MA HIC 168572/22812-A  
**Email:**  
energycustomersupport@tesla.com

**Customer:** [Rebecca Horn](#)  
**System Installation Address:**  
[40 Maggie Ln,](#)  
[Barnstable, MA 02668-1108](#)  
**Customer Mailing Address:**  
[40 Maggie Lane,](#)  
[Barnstable, MA 02668](#)  
**Email:** [rebecca.j.horn@gmail.com](mailto:rebecca.j.horn@gmail.com)  
**Contract Date:** [8/19/2021](#)

### Purchase Price

Your purchase price, including the cost of the Powerwall(s): [\\$19,367.50](#)

List of any credits, incentives or rebates included in the above purchase price: [\\$100.00](#)

**\*NOTE:** Not everyone is eligible for credits, incentives or rebates or can fully use them. Consult your tax professional or legal professional for further information.

### Payment Schedule

Amount you owe Provider at Contract signing: [\\$0.00](#)

Amount you owe Provider at the commencement of installation: [\\$0.00](#)

Amount you owe Provider following building inspection: [\\$19,367.50](#)

### Financing

Your system: [Financing of System is UNKNOWN to Provider](#)

**NOTE:** If your System is financed, carefully read any agreements and/or disclosure forms provided by your lender. **This statement does not contain the terms of your financing agreement.** If you have any questions about your financing arrangement, contact your finance provider and read all financing disclosures before signing a Contract.

### Installation Timing

Approximate Start Date: 7-90 days from the date the Agreement is signed.

Approximate Completion Date: 7-90 days from the day installation begins.

### Interconnection Approval

**PROVIDER** is responsible for submitting a System interconnection application.

### Site & Design Assumptions for your Purchase

The estimated size of your System is: [4.25 kW DC](#)

Estimated gross annual electricity production in kilowatt-hours (kWh) from your System in Year 1: [0 kWh](#)

Estimated System Lifetime: [30 years](#)

Estimated annual electricity production decrease due to natural aging of the System: [0.5%](#)



Your signature

Rebecca Horn

---

Name: Rebecca Horn

Date: 8/19/2021 4:06:14 PM +00:00

Tesla, Inc.

A handwritten signature in black ink, appearing to read 'Yaron Klein', is written over a horizontal line.

Name: Yaron Klein

Title: VP, Financial Services & Treasurer

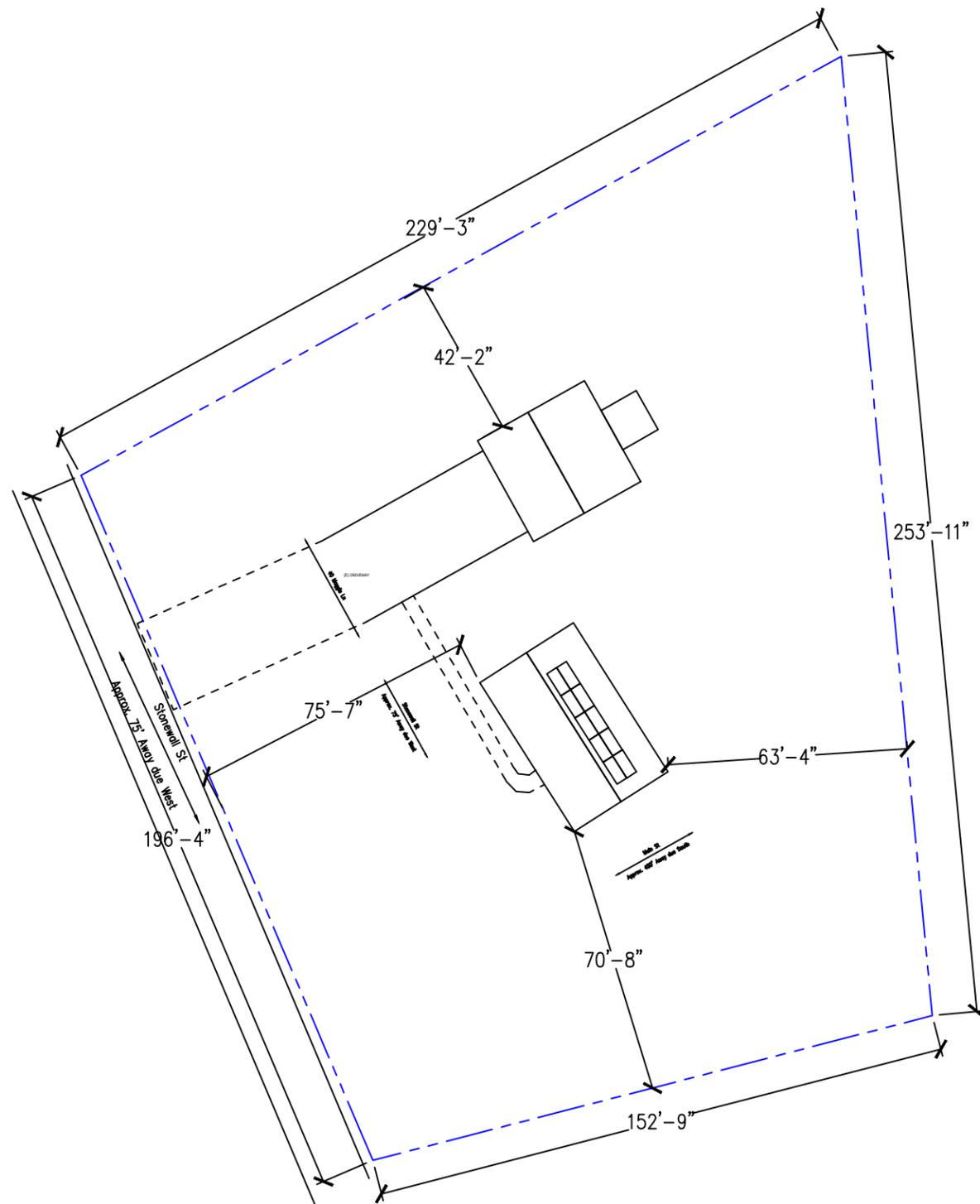
**You are entitled to a completely filled in copy of this Agreement, signed by both you and Tesla, before any work may be started.**

ABBREVIATIONS	ELECTRICAL NOTES	JURISDICTION NOTES
<p>A AMPERE AC ALTERNATING CURRENT BLDG BUILDING CONC CONCRETE DC DIRECT CURRENT EGC EQUIPMENT GROUNDING CONDUCTOR (E) EXISTING EMT ELECTRICAL METALLIC TUBING FSB FIRE SET-BACK GALV GALVANIZED GEC GROUNDING ELECTRODE CONDUCTOR GND GROUND HDG HOT DIPPED GALVANIZED I CURRENT Imp CURRENT AT MAX POWER Isc SHORT CIRCUIT CURRENT kVA KILOVOLT AMPERE kW KILOWATT LBW LOAD BEARING WALL MIN MINIMUM (N) NEW NEUT NEUTRAL NTS NOT TO SCALE OC ON CENTER PL PROPERTY LINE POI POINT OF INTERCONNECTION PV PHOTOVOLTAIC SCH SCHEDULE S STAINLESS STEEL STC STANDARD TESTING CONDITIONS TYP TYPICAL UPS UNINTERRUPTIBLE POWER SUPPLY V VOLT Vmp VOLTAGE AT MAX POWER Voc VOLTAGE AT OPEN CIRCUIT W WATT 3R NEMA 3R, RAIN TIGHT</p>	<p>1. THIS SYSTEM IS GRID-INTERTIED VIA A UL-LISTED POWER-CONDITIONING INVERTER.  2. A NATIONALLY - RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART. 110.3.  3. WHERE ALL TERMINALS OF THE DISCONNECTING MEANS MAY BE ENERGIZED IN THE OPEN POSITION, A SIGN WILL BE PROVIDED WARNING OF THE HAZARDS PER ART. 690.17.  4. EACH UNGROUNDED CONDUCTOR OF THE MULTIWIRED BRANCH CIRCUIT WILL BE IDENTIFIED BY PHASE AND SYSTEM PER ART. 210.5.  5. CIRCUITS OVER 250V TO GROUND SHALL COMPLY WITH ART. 250.97, 250.92(B).  6. DC CONDUCTORS EITHER DO NOT ENTER BUILDING OR ARE RUN IN METALLIC RACEWAYS OR ENCLOSURES TO THE FIRST ACCESSIBLE DC DISCONNECTING MEANS PER ART. 690.31(E).  7. ALL WIRES SHALL BE PROVIDED WITH STRAIN RELIEF AT ALL ENTRY INTO BOXES AS REQUIRED BY UL LISTING.  8. MODULE FRAMES SHALL BE GROUNDED AT THE UL - LISTED LOCATION PROVIDED BY THE MANUFACTURER USING UL LISTED GROUNDING HARDWARE.  9. MODULE FRAMES, RAIL, AND POSTS SHALL BE BONDED WITH EQUIPMENT GROUND CONDUCTORS.</p>	<p style="text-align: center;"><u>VICINITY MAP</u></p> 

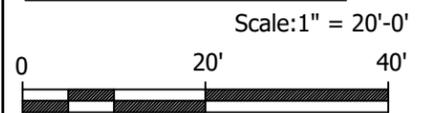
LICENSE	GENERAL NOTES
<p>HIC #168572 ELEC 22812A</p>	<p>1. ALL WORK TO BE DONE TO THE 9TH EDITION OF THE MA STATE BUILDING CODE.  2. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2020 NATIONAL ELECTRIC CODE INCLUDING MASSACHUSETTS AMENDMENTS.</p>
<p>MODULE GROUNDING METHOD: ZEP SOLAR</p>	
<p>AHJ: Barnstable</p>	
<p>UTILITY: Eversource Energy - South Shore (NSTAR-Commonwealth Electric)</p>	

VICINITY MAP				INDEX			
				Sheet 1	COVER SHEET		
				Sheet 2	PROPERTY PLAN		
Sheet 3	SITE PLAN						
Sheet 4	SITE PLAN SATELITE VIEW						
Sheet 5	STRUCTURAL VIEWS						
Sheet 6	UPLIFT CALCULATIONS						
Sheet 7	THREE LINE DIAGRAM						
Sheet 8	THREE LINE DIAGRAM CONT.						
Cutsheets Attached							
REV BY DATE COMMENTS							
REV A	JMoore	12/20/21	Plans updated for historical area.				
*	*	*	*				
*	*	*	*				
*	*	*	*				
*	*	*	*				

<p>CONFIDENTIAL - THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.</p>	<p>JOB NUMBER: JB-0264325 00</p>	<p>CUSTOMER: Rebecca Horn 40 Maggie Ln Barnstable, MA 02668</p>	<p>DESCRIPTION: 4.25 KW PV ARRAY 13.5 KWH ENERGY STORAGE SYSTEM</p>	<p>DESIGN: Jason Moore</p>	
	<p>MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert</p>	<p>7748100030</p>	<p>PAGE NAME: COVER SHEET</p>	<p>SHEET: 1 REV: a DATE: 12/20/2021</p>	
	<p>MODULES: (10) Tesla # T425S</p>				
	<p>INVERTER: Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh</p>				



**PROPERTY PLAN**



CONFIDENTIAL - THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.

JOB NUMBER: JB-0264325 00  
 MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert  
 MODULES: (10) Tesla # T425S  
 INVERTER: Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh

CUSTOMER: Rebecca Horn  
 40 Maggie Ln  
 Barnstable, MA 02668  
 7748100030

DESCRIPTION: 4.25 KW PV ARRAY  
 13.5 KWH ENERGY STORAGE SYSTEM  
 PAGE NAME: PROPERTY PLAN

DESIGN: Jason Moore  
 SHEET: 2 REV: a DATE: 12/20/2021



MP1	PITCH: 27° (6:12) ARRAY PITCH: 27° (6:12) AZIMUTH: 237 ARRAY AZIMUTH: 237 MATERIAL: Comp Shingle STORY: 2 Stories
MP2	PITCH: 27° (6:12) ARRAY PITCH: 27° (6:12) AZIMUTH: 57 ARRAY AZIMUTH: 57 MATERIAL: Comp Shingle STORY: 2 Stories

**MA**

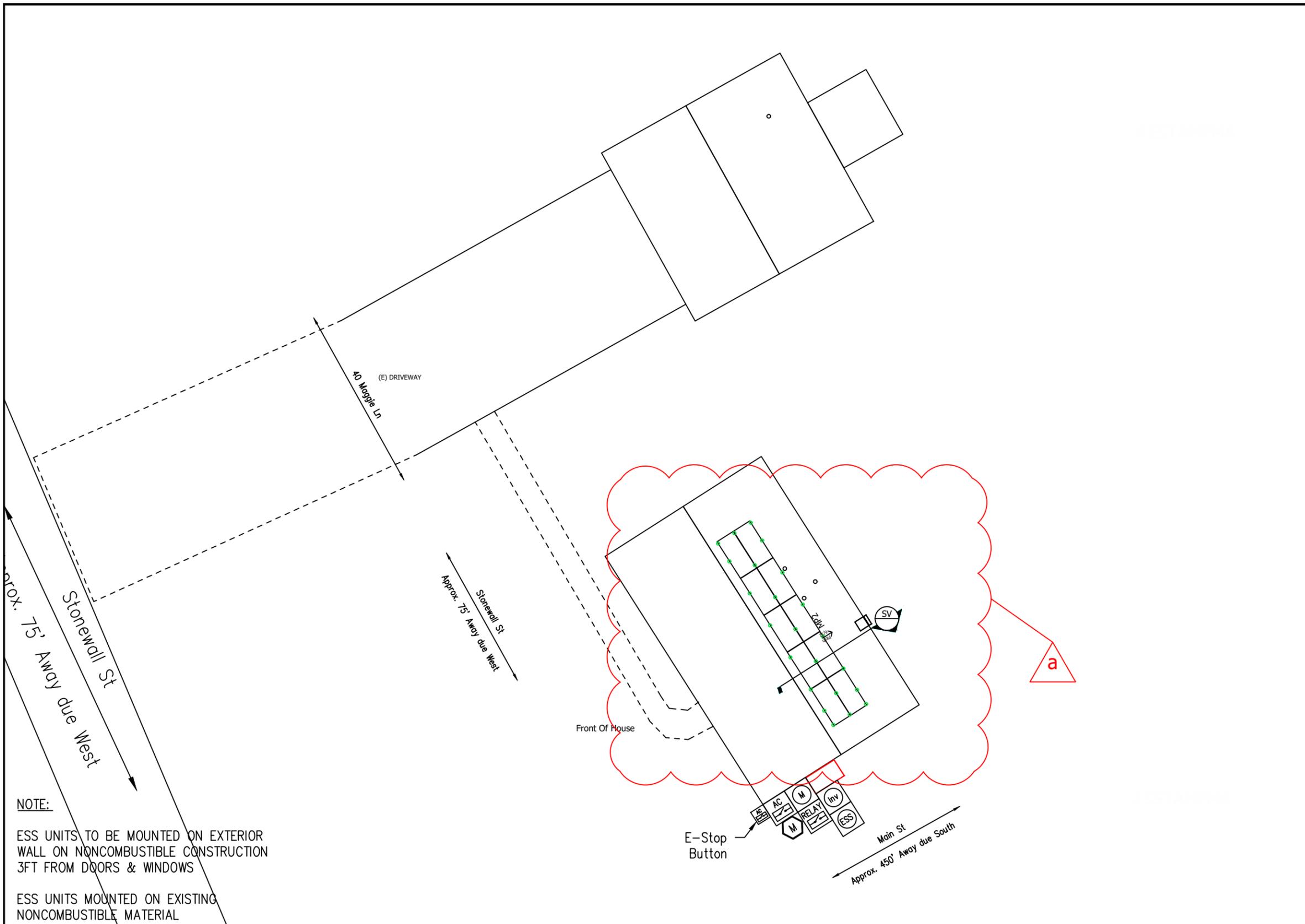
By Yuri at 3:06:52 PM, 12/20/2021

### LEGEND

- (E) UTILITY METER & WARNING LABEL
- INVERTER W/ INTEGRATED DC DISCO & WARNING LABELS
- AUTOMATIC RELAY
- DC DISCONNECT & WARNING LABELS
- AC DISCONNECT & WARNING LABELS
- DC JUNCTION/COMBINER BOX & LABELS
- ENERGY STORAGE SYSTEM FOR STAND ALONE OPERATION
- DISTRIBUTION PANEL & LABELS
- LOAD CENTER & WARNING LABELS
- DEDICATED PV SYSTEM METER
- RAPID SHUTDOWN
- STANDOFF LOCATIONS
- CONDUIT RUN ON EXTERIOR
- CONDUIT RUN ON INTERIOR
- GATE/FENCE
- HEAT PRODUCING VENTS ARE RED
- INTERIOR EQUIPMENT IS DASHED

### SITE PLAN

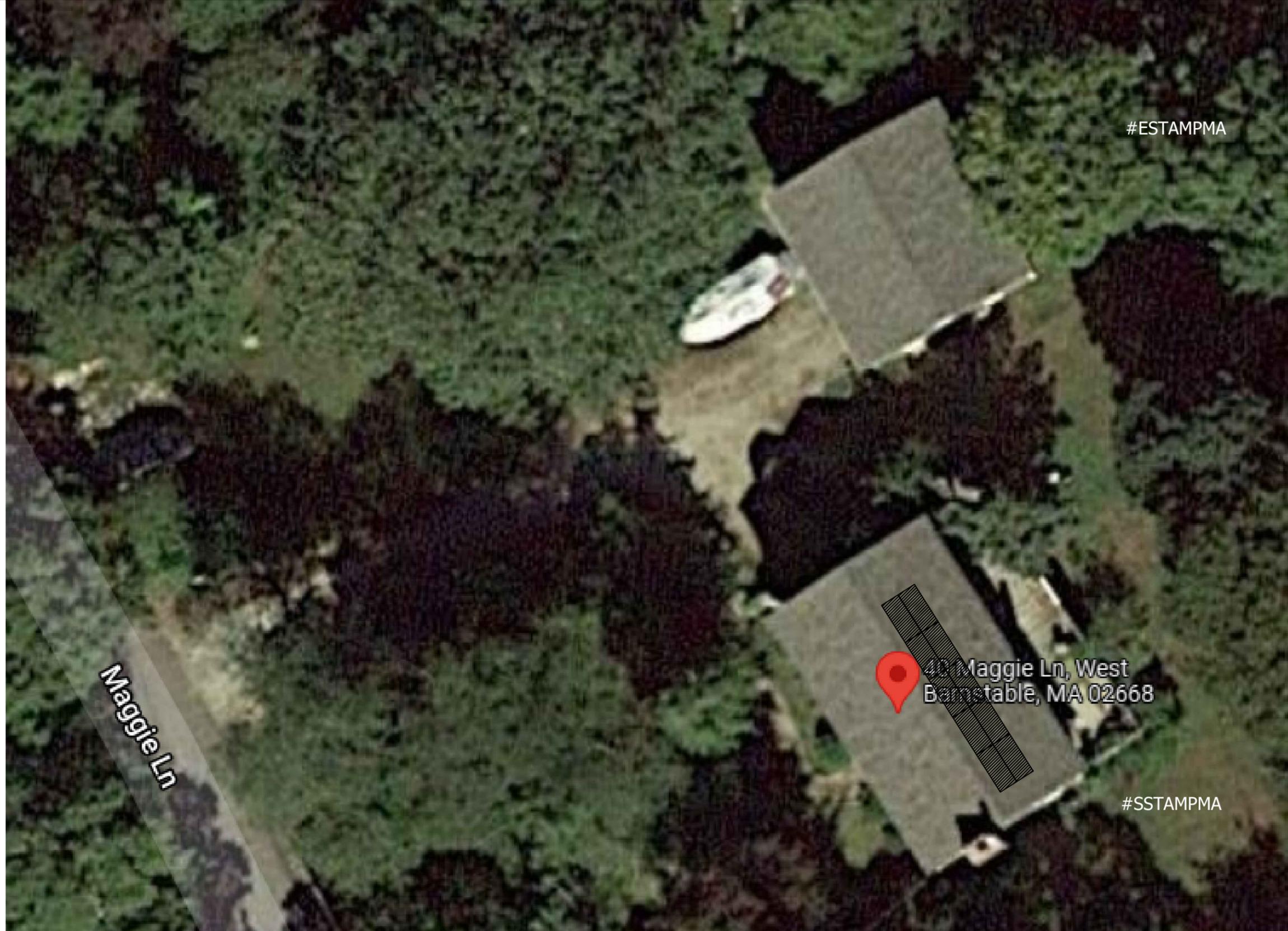
Scale: 1/16" = 1'



**NOTE:**  
ESS UNITS TO BE MOUNTED ON EXTERIOR WALL ON NONCOMBUSTIBLE CONSTRUCTION 3FT FROM DOORS & WINDOWS  
ESS UNITS MOUNTED ON EXISTING NONCOMBUSTIBLE MATERIAL

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	MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert	7748100030	PAGE NAME: SITE PLAN	SHEET: 3    REV: a    DATE: 12/20/2021
	MODULES: (10) Tesla # T425S			
	INVERTER: Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh			





MP1	PITCH: 27° (6:12) ARRAY PITCH: 27° (6:12) AZIMUTH: 237 ARRAY AZIMUTH: 237 MATERIAL: Comp Shingle STORY: 2 Stories
MP2	PITCH: 27° (6:12) ARRAY PITCH: 27° (6:12) AZIMUTH: 57 ARRAY AZIMUTH: 57 MATERIAL: Comp Shingle STORY: 2 Stories

**MA**

By Yuri at 3:07:00 PM, 12/20/2021

### LEGEND

- (E) UTILITY METER & WARNING LABEL
- INVERTER W/ INTEGRATED DC DISCO & WARNING LABELS
- AUTOMATIC RELAY
- DC DISCONNECT & WARNING LABELS
- AC DISCONNECT & WARNING LABELS
- DC JUNCTION/COMBINER BOX & LABELS
- ENERGY STORAGE SYSTEM FOR STAND ALONE OPERATION
- DISTRIBUTION PANEL & LABELS
- LOAD CENTER & WARNING LABELS
- DEDICATED PV SYSTEM METER
- RAPID SHUTDOWN
- STANDOFF LOCATIONS
- CONDUIT RUN ON EXTERIOR
- CONDUIT RUN ON INTERIOR
- GATE/FENCE
- HEAT PRODUCING VENTS ARE RED
- INTERIOR EQUIPMENT IS DASHED

**SITE PLAN**

Scale: 1/16" = 1'

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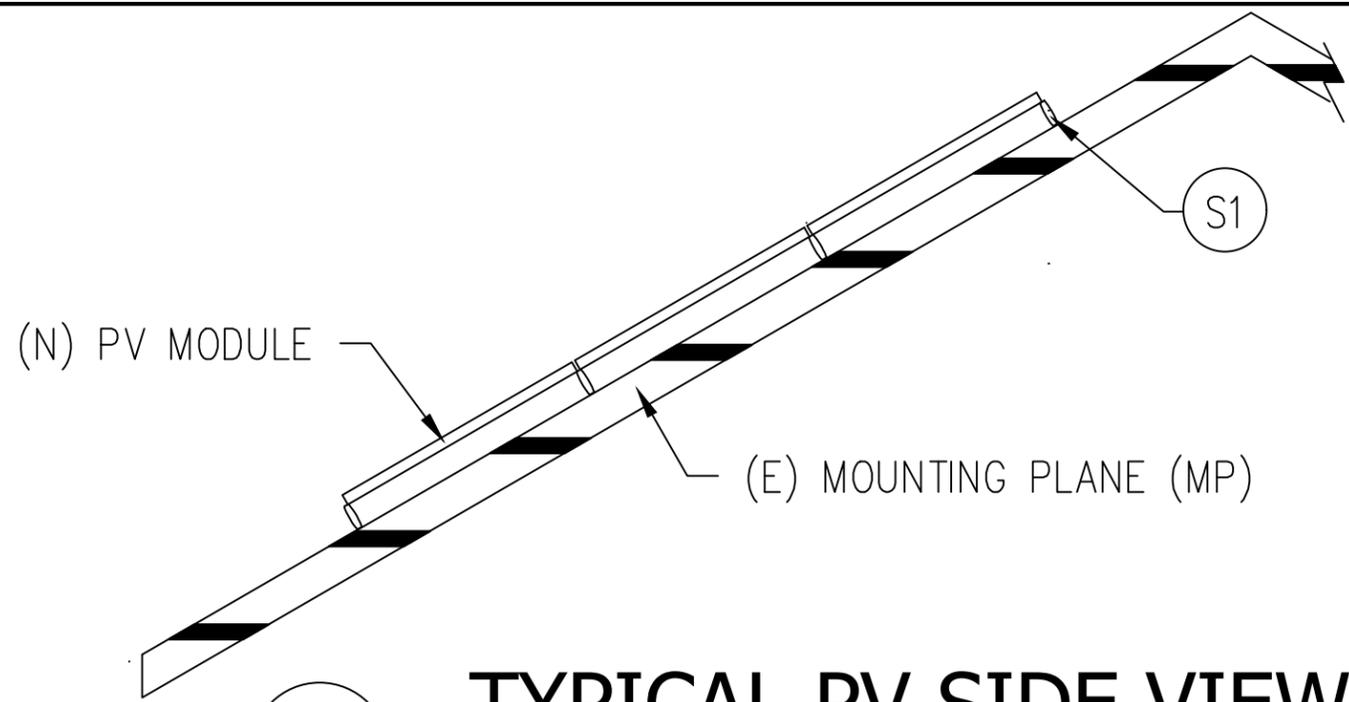
JOB NUMBER: JB-0264325 00
MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert
MODULES: (10) Tesla # T425S
INVERTER: Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh

CUSTOMER: Rebecca Horn 40 Maggie Ln Barnstable, MA 02668
7748100030

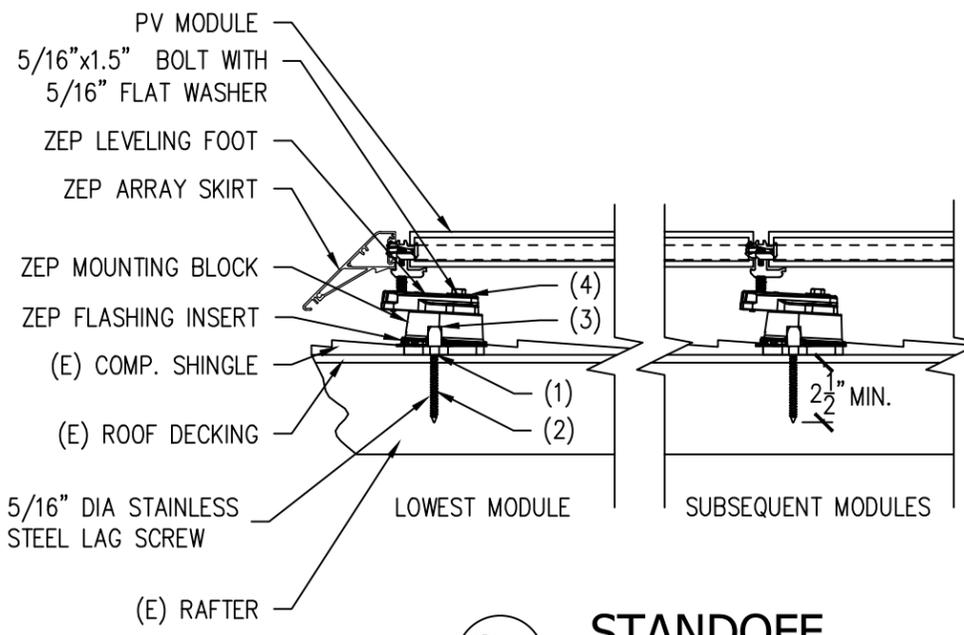
DESCRIPTION: 4.25 KW PV ARRAY 13.5 KWH ENERGY STORAGE SYSTEM
PAGE NAME: SITE PLAN SATELITE VIEW

DESIGN: Jason Moore
SHEET: 4
REV: a
DATE: 12/20/2021





**SV** **TYPICAL PV SIDE VIEW** NTS



- INSTALLATION ORDER**
- (1) LOCATE RAFTER, MARK HOLE LOCATION, AND DRILL PILOT HOLE.
  - (2) ATTACH FLASHING INSERT TO MOUNTING BLOCK AND ATTACH TO RAFTER USING LAG SCREW.
  - (3) INJECT SEALANT INTO FLASHING INSERT PORT, WHICH SPREADS SEALANT EVENLY OVER THE ROOF PENETRATION.
  - (4) INSTALL LEVELING FOOT ON TOP OF MOUNTING BLOCK & SECURELY FASTEN WITH BOLT.

**S1** **STANDOFF**  
Scale: 1 1/2" = 1'



By Yuri at 3:07:03 PM, 12/20/2021

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JOB NUMBER: JB-0264325 00  
 MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert  
 MODULES: (10) Tesla # T425S  
 INVERTER: Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh

CUSTOMER:  
 Rebecca Horn  
 40 Maggie Ln  
 Barnstable, MA 02668  
 7748100030

DESCRIPTION:  
 4.25 KW PV ARRAY  
 13.5 KWH ENERGY STORAGE SYSTEM  
 PAGE NAME:  
 STRUCTURAL VIEWS

DESIGN:  
 Jason Moore  
 SHEET: 5 REV: a DATE: 12/20/2021



Jobsite Specific Design Criteria			
Design Code		ASCE 7-10	
Risk Category		II	Table 1.5-1
Ultimate Wind Speed	V-Ult	120	Fig. 1609A
Exposure Category		C	Section 26.7
Ground Snow Load	pg	50	Table 7-1
Edge Zone Width	a	5 ft	Fig. 30.4-2A to 30.4-2C

MP Specific Design Information	
MP Name	MP2
Roofing	Comp Shingle
Standoff	ZS Comp V4 w Flashing-Insert
Pitch	27
SL/RLL: PV	24.8
SL/RLL: Non-PV	34.7



By Yuri at 3:07:07 PM, 12/20/2021

Standoff Spacing and Layout	
MP Name	MP2
Landscape X-Spacing	72
Landscape X-Cantilever	24
Landscape Y-Spacing	41
Landscape Y-Cantilever	-
Portrait X-Spacing	DQ
Portrait X-Cantilever	DQ
Portrait Y-Spacing	DQ
Portrait Y-Cantilever	DQ
Layout	Staggered
X and Y are maximums that are always relative to the structure framing that supports the PV. X is across rafters and Y is along rafters.	

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JOB NUMBER: JB-0264325 00

MOUNTING SYSTEM:  
ZS Comp V4 w Flashing-Insert

MODULES:  
(10) Tesla # T425S

INVERTER:  
Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh

CUSTOMER:  
Rebecca Horn  
40 Maggie Ln  
Barnstable, MA 02668

7748100030

DESCRIPTION:  
4.25 KW PV ARRAY  
13.5 KWH ENERGY STORAGE SYSTEM

PAGE NAME:  
UPLIFT CALCULATIONS

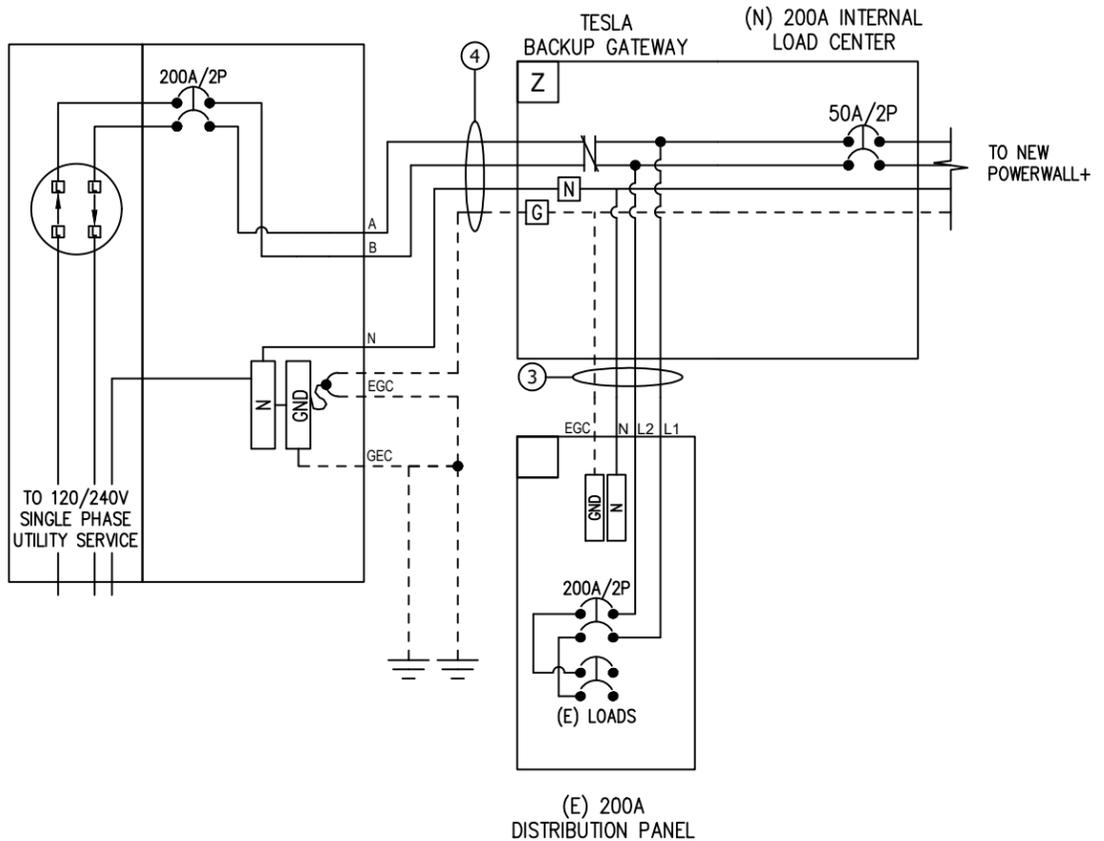
DESIGN:  
Jason Moore

SHEET: 6 REV: a DATE: 12/20/2021

TESLA

<b>GROUND SPECS</b>	<b>MAIN PANEL SPECS</b>	<b>GENERAL NOTES</b>		<b>LICENSE</b>
BOND (N) AWG #6 TO (N) DOUBLE GROUND ROD AT PANEL WITH IRREVERSIBLE CRIMP	Panel Number: HOMC42UC Meter Number: 1910109 Overhead Service Entrance	*		HIC #168572 ELEC 22812A

(E) 200A MAIN SERVICE PANEL  
(E) 200A/2P MAIN CIRCUIT BREAKER



- POI** (2) Ground Rod  
5/8" x 8", Copper
- Z** (1) Tesla # 1232100-00-E  
Back-up Gateway 2.0 NA for AC PW 2.0  
(1) CUTLER-HAMMER # BR250  
Breaker; 50A/2P, 2 Spaces  
(1) Panelboard Accessory Kit for GW 2.0 NA  
200A, 6sp/12cir, 120/240V, 1PH
- H** (1) Eaton M22-PVT-K01 Emergency Stop Button

- 3** (3) AWG #2/0, THWN-2, Black  
(1) AWG #6, THWN-2, Green  
(1) Conduit  
2" PVC; Schedule 80
- 4** (3) AWG #2/0, THWN-2, Black  
(1) AWG #6, THWN-2, Green  
(1) Conduit  
2" PVC; Schedule 80

AC

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JOB NUMBER: JB-0264325 00

MOUNTING SYSTEM:  
ZS Comp V4 w Flashing-Insert

MODULES:  
(10) Tesla # T425S

INVERTER:  
Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh

CUSTOMER:  
Rebecca Horn  
40 Maggie Ln  
Barnstable, MA 02668

7748100030

DESCRIPTION:  
4.25 KW PV ARRAY  
13.5 KWH ENERGY STORAGE SYSTEM

PAGE NAME:  
THREE LINE DIAGRAM

DESIGN:  
Jason Moore

SHEET: 7 REV: DATE:  
a 12/20/2021



GENERAL NOTES	PRODUCT SPECS	MODULE SPECS	LICENSE
Inv 1: DC Ungrounded	1 - (1) Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh 2 3	- (10) Tesla # T425S PV Module, 425W, 397 PTC, 40MM, Black Frame, MC4/MC4-EVO2, ZEP, 1000V  Voc: 48.65 Vpmax: 41.05 Isc AND Imp ARE SHOWN IN THE DC STRINGS IDENTIFIER	HIC #168572 ELEC 22812A

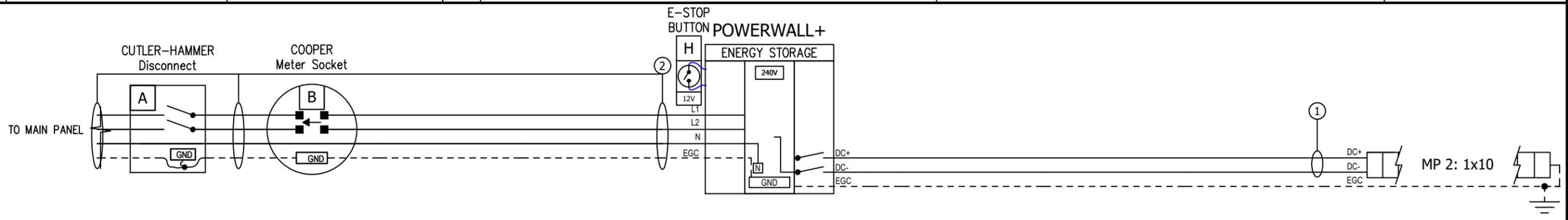


PHOTO VOLTAIC SYSTEM EQUIPPED WITH RAPID SHUTDOWN  
 PV METER IS FOR PARTICIPATION IN THE MA SMART SOLAR REBATE PROGRAM. BOTH METERS WILL BE IN CLOSE PROXIMITY OF EACH OTHER.

Voc\* = MAX VOC AT MIN TEMP

<b>A</b>	(1) CUTLER-HAMMER # DG222URB Disconnect; 60A, 240Vac, Non-Fusible, NEMA 3R (1) CUTLER-HAMMER # DG100NB Ground/Neutral Kit; 60-100A, General Duty (DG)	<b>AC</b>	<b>GD</b>	Please see MCI wiring detail page for more information
<b>B</b>	(1) Eaton # B-Line Meter Socket 011 Meter Socket; 125A, 4-14AWG, Ring Type (1) AW CAP; B-Line Meter Socket Accessory (1) COOPER # B-LINE 25162 CLEAR PLASTIC METER SOCKET COVER		<b>PV</b>	(4) Tesla MCI, 600V, 13A
<b>②</b>	(1) AWG #8, THWN-2, Black (1) AWG #8, THWN-2, Red (1) AWG #10, THWN-2, Green (1) Conduit Kit; 3/4" EMT	(1) AWG #8, THWN-2, White EGC Vmp = 240 VAC Imp = 32 AAC	<b>Gnd</b>	(1) AWG #6, Solid Bare Copper (1) Ground Rod; 5/8" x 8', Copper
			<b>①</b>	(2) PV Wire, AWG 10, Black (1) AWG #6, Solid Bare Copper EGC (1) Conduit Kit; 3/4" EMT
				Voc* = 547.22VDC Isc = 11.24 ADC Vmp = 410.5 VDC Imp = 10.36 ADC (N) ARRAY GROUND PER 690.47(D). NOTE: PER EXCEPTION NO. 2, ADDITIONAL ELECTRODE MAY NOT BE REQUIRED DEPENDING ON LOCATION OF (E) ELECTRODE.

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JOB NUMBER: JB-0264325 00  
 MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert  
 MODULES: (10) Tesla # T425S  
 INVERTER: Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh

CUSTOMER: Rebecca Horn  
 40 Maggie Ln  
 Barnstable, MA 02668  
 7748100030

DESCRIPTION: 4.25 KW PV ARRAY  
 13.5 KWH ENERGY STORAGE SYSTEM  
 PAGE NAME: THREE LINE DIAGRAM CONT.

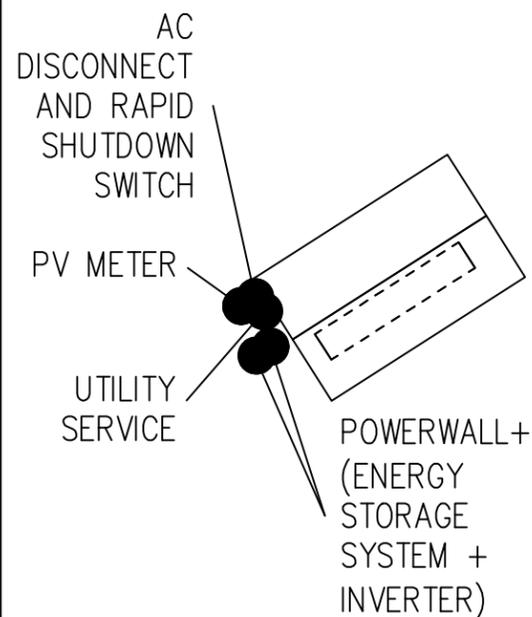
DESIGN: Jason Moore  
 SHEET: 8 REV: a DATE: 12/20/2021



# SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF"  
POSITION TO SHUT DOWN PV SYSTEM AND REDUCE  
SHOCK HAZARD IN THE ARRAY

- Address: 40 Maggie Ln



OPERATING VOLTAGE = 240V

JB-0264325-00

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JOB NUMBER: JB-0264325 00

MOUNTING SYSTEM:  
ZS Comp V4 w Flashing-Insert

MODULES:  
(10) Tesla # T425S

INVERTER:  
Powerwall+ Tesla Inc [240V] # 1850000-10-B 7.6 kW / 13.5 kWh

CUSTOMER:  
Rebecca Horn  
40 Maggie Ln  
Barnstable, MA 02668

7748100030

DESCRIPTION:  
4.25 KW PV ARRAY  
13.5 KWH ENERGY STORAGE SYSTEM

PAGE NAME:  
SITE PLAN PLACARD

DESIGN:  
Jason Moore

SHEET: 9 REV: a DATE: 12/20/2021

TESLA

WARNING: PHOTOVOLTAIC POWER SOURCE

Label Location:  
(C)(CB)(JB)  
Per Code:  
NEC 690.31.G.3

PHOTOVOLTAIC DC  
DISCONNECT

Label Location:  
(DC) (INV)  
Per Code:  
NEC 690.13.B

WARNING

ELECTRIC SHOCK HAZARD  
DO NOT TOUCH TERMINALS  
TERMINALS ON BOTH LINE AND  
LOAD SIDES MAY BE ENERGIZED  
IN THE OPEN POSITION

Label Location:  
(AC)(POI)  
Per Code:  
NEC 690.13.B

WARNING

ELECTRIC SHOCK HAZARD  
THE DC CONDUCTORS OF THIS  
PHOTOVOLTAIC SYSTEM ARE  
UNGROUND AND  
MAY BE ENERGIZED

Label Location:  
(DC) (INV)

MAXIMUM VOLTAGE   
MAXIMUM CIRCUIT CURRENT   
MAX RATED OUTPUT CURRENT  
OF THE CHARGE CONTROLLER  
OR DC-TO-DC CONVERTER  
(IF INSTALLED)

Label Location:  
(DC) (INV)  
Per Code:  
NEC 690.53

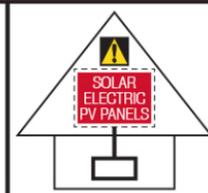
PHOTOVOLTAIC SYSTEM  
EQUIPPED WITH RAPID  
SHUTDOWN

Label Location:  
(INV)  
Per Code:  
NEC 690.56.C.3

SOLAR PV SYSTEM  
EQUIPPED WITH RAPID  
SHUTDOWN

Label Location:  
ABB/Delta Solivia Inverter  
Per Code:  
690.56(C)(1)(b)

TURN RAPID  
SHUTDOWN SWITCH  
TO THE "OFF"  
POSITION TO SHUT  
DOWN CONDUCTORS  
OUTSIDE THE ARRAY.  
CONDUCTORS WITHIN  
THE ARRAY REMAIN  
ENERGIZED IN SUNLIGHT



WARNING

ELECTRIC SHOCK HAZARD  
IF A GROUND FAULT IS INDICATED  
NORMALLY GROUNDED  
CONDUCTORS MAY BE  
UNGROUND AND ENERGIZED

Label Location:  
(DC) (INV)  
Per Code:  
690.41.B

WARNING

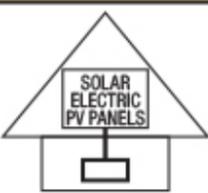
INVERTER OUTPUT  
CONNECTION  
DO NOT RELOCATE  
THIS OVERCURRENT  
DEVICE

Label Location:  
(POI)  
Per Code:  
NEC 705.12.B.2.3.b

SOLAR PV SYSTEM  
EQUIPPED WITH RAPID  
SHUTDOWN

Label Location:  
SolarEdge and,Delta M-Series and,Telsa Inverter  
Per Code:  
690.56(C)(1)(a)

TURN RAPID  
SHUTDOWN  
SWITCH TO THE  
"OFF" POSITION TO  
SHUT DOWN PV  
SYSTEM AND REDUCE  
SHOCK HAZARD  
IN THE ARRAY.



WARNING

ELECTRICAL SHOCK HAZARD  
DO NOT TOUCH TERMINALS  
TERMINALS ON BOTH LINE AND  
LOAD SIDES MAY BE ENERGIZED  
IN THE OPEN POSITION  
DC VOLTAGE IS  
ALWAYS PRESENT WHEN  
SOLAR MODULES ARE  
EXPOSED TO SUNLIGHT

Label Location:  
(DC) (CB)  
Per Code:  
CEC 690.13.B

CAUTION

PHOTOVOLTAIC SYSTEM  
CIRCUIT IS BACKFED

Label Location:  
(D) (POI)  
Per Code:  
NEC 690.64.B.4

CAUTION

DUAL POWER SOURCE  
SECOND SOURCE IS  
PHOTOVOLTAIC SYSTEM

Label Location:  
(POI)  
Per Code:  
NEC 705.12.B.3

PHOTOVOLTAIC AC  
DISCONNECT

Label Location:  
(AC) (POI)  
Per Code:  
NEC 690.13.B

PHOTOVOLTAIC POINT OF  
INTERCONNECTION  
WARNING: ELECTRIC SHOCK  
HAZARD. DO NOT TOUCH  
TERMINALS. TERMINALS ON  
BOTH THE LINE AND LOAD SIDE  
MAY BE ENERGIZED IN THE OPEN  
POSITION. FOR SERVICE  
DE-ENERGIZE BOTH SOURCE  
AND MAIN BREAKER.  
PV POWER SOURCE

Label Location:  
(POI)  
Per Code:  
CEC 690.13.B

MAXIMUM AC  A  
OPERATING CURRENT  
MAXIMUM AC  V  
OPERATING VOLTAGE

Label Location:  
(AC) (POI)  
Per Code:  
NEC 690.54

MAXIMUM AC  A  
OPERATING CURRENT  
MAXIMUM AC  V  
OPERATING VOLTAGE

(AC): AC Disconnect  
(C): Conduit  
(CB): Combiner Box  
(D): Distribution Panel  
(DC): DC Disconnect  
(IC): Interior Run Conduit  
(INV): Inverter With Integrated DC Disconnect  
(LC): Load Center  
(M): Utility Meter  
(POI): Point of Interconnection

BACKUP LOAD CENTER

Label Location:  
(BLC)  
Per Code:  
NEC 408.4

**CAUTION**  
TRI POWER SOURCE  
SECOND SOURCE IS PHOTOVOLTAIC SYSTEM  
THIRD SOURCE IS ENERGY STORAGE SYSTEM

Label Location:  
(MSP)  
Per Code:  
NEC 705.12(B)(3)

**CAUTION**  
DO NOT ADD NEW LOADS

Label Location:  
(BLC)  
Per Code:  
NEC 220

**WARNING**

THIS EQUIPMENT FED BY  
MULTIPLE SOURCES. TOTAL  
RATING OF ALL OVER CURRENT  
DEVICES, EXCLUDING MAIN  
SUPPLY OVERCURRENT DEVICE,  
SHALL NOT EXCEED AMPACITY  
OF BUSBAR.

Label Location:  
(MSP)  
Per Code:  
NEC 705.12.B.2.3.c

**CAUTION**  
THIS PANEL HAS SPLICED FEED-  
THROUGH CONDUCTORS.  
LOCATION OF DISCONNECT AT ENERGY  
STORAGE BACKUP LOAD PANEL

Label Location:  
(MSP)  
Per Code:  
NEC 312.8.A(3)

**CAUTION**  
DUAL POWER SOURCE  
SECOND SOURCE IS  
ENERGY STORAGE SYSTEM

Label Location:  
(MSP)  
Per Code:  
NEC 705.12(B)(3)

**NOMINAL ESS VOLTAGE:** 120/240V  
**MAX AVAILABLE SHORT-  
CIRCUIT FROM ESS:** 32A  
**ARC FAULT CLEARING  
TIME FROM ESS:** 67ms  
**DATE OF  
CALCULATION:**

Label Location:  
(MSP)  
Per Code:  
Per 706.7(D) label to be marked in field

ENERGY STORAGE SYSTEM ON SITE  
LOCATED WITHIN LINE OF SIGHT

Label Location:  
(MSP)  
Per Code:

ENERGY STORAGE SYSTEM ON SITE  
LOCATED ON ADJACENT WALL

Label Location:  
(MSP)  
Per Code:

ENERGY STORAGE SYSTEM ON SITE  
LOCATED ON OPPOSITE WALL

Label Location:  
(MSP)  
Per Code:

ENERGY STORAGE SYSTEM ON SITE  
LOCATED INSIDE

Label Location:  
(MSP)  
Per Code:

(AC): AC Disconnect  
(BLC): Backup Load Center  
(MSP): Main Service Panel

Label Set

## POWERWALL

### Backup Gateway 2

The Backup Gateway 2 for Tesla Powerwall provides energy management and monitoring for solar self-consumption, time-based control, and backup.

The Backup Gateway 2 controls connection to the grid, automatically detecting outages and providing a seamless transition to backup power. When equipped with a main circuit breaker, the Backup Gateway 2 can be installed at the service entrance. When the optional internal panelboard is installed, the Backup Gateway 2 can also function as a load center.

The Backup Gateway 2 communicates directly with Powerwall, allowing you to monitor energy use and manage backup energy reserves from any mobile device with the Tesla app.



#### PERFORMANCE SPECIFICATIONS

<b>Model Number</b>	1232100-xx-y
<b>AC Voltage (Nominal)</b>	120/240V
<b>Feed-In Type</b>	Split Phase
<b>Grid Frequency</b>	60 Hz
<b>Current Rating</b>	200 A
<b>Maximum Input Short Circuit Current</b>	10 kA <sup>1</sup>
<b>Overcurrent Protection Device</b>	100-200A; Service Entrance Rated <sup>1</sup>
<b>Overvoltage Category</b>	Category IV
<b>AC Meter</b>	Revenue accurate (+/- 0.2 %)
<b>Primary Connectivity</b>	Ethernet, Wi-Fi
<b>Secondary Connectivity</b>	Cellular (3G, LTE/4G) <sup>2</sup>
<b>User Interface</b>	Tesla App
<b>Operating Modes</b>	Support for solar self-consumption, time-based control, and backup
<b>Backup Transition</b>	Automatic disconnect for seamless backup
<b>Modularity</b>	Supports up to 10 AC-coupled Powerwalls
<b>Optional Internal Panelboard</b>	200A 6-space / 12 circuit Eaton BR Circuit Breakers
<b>Warranty</b>	10 years

<sup>1</sup> When protected by Class J fuses, Backup Gateway 2 is suitable for use in circuits capable of delivering not more than 22kA symmetrical amperes.

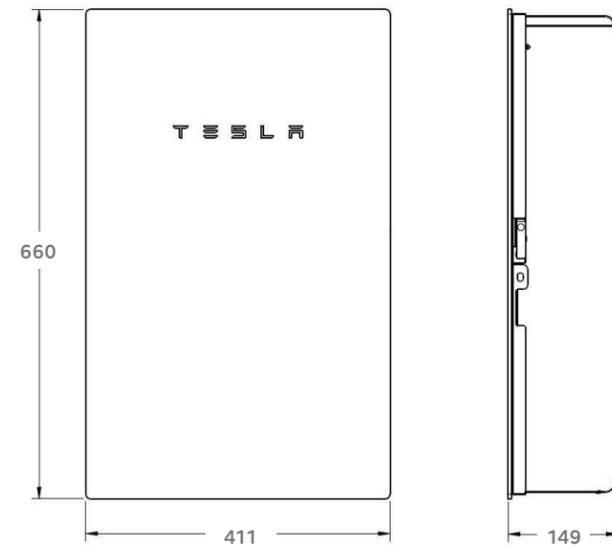
<sup>2</sup> The customer is expected to provide internet connectivity for Backup Gateway 2; cellular should not be used as the primary mode of connectivity. Cellular connectivity subject to network operator service coverage and signal strength.

#### COMPLIANCE INFORMATION

<b>Certifications</b>	UL 67, UL 869A, UL 916, UL 1741 PCS CSA 22.2 0.19, CSA 22.2 205
<b>Emissions</b>	FCC Part 15, ICES 003

#### MECHANICAL SPECIFICATIONS

<b>Dimensions</b>	660 mm x 411 mm x 149 mm (26 in x 16 in x 6 in)
<b>Weight</b>	20.4 kg (45 lb)
<b>Mounting options</b>	Wall mount, Semi-flush mount



#### ENVIRONMENTAL SPECIFICATIONS

<b>Operating Temperature</b>	-20°C to 50°C (-4°F to 122°F)
<b>Operating Humidity (RH)</b>	Up to 100%, condensing
<b>Maximum Elevation</b>	3000 m (9843 ft)
<b>Environment</b>	Indoor and outdoor rated
<b>Enclosure Type</b>	NEMA 3R

# MCI WIRING DETAIL

## GENERAL NOTES

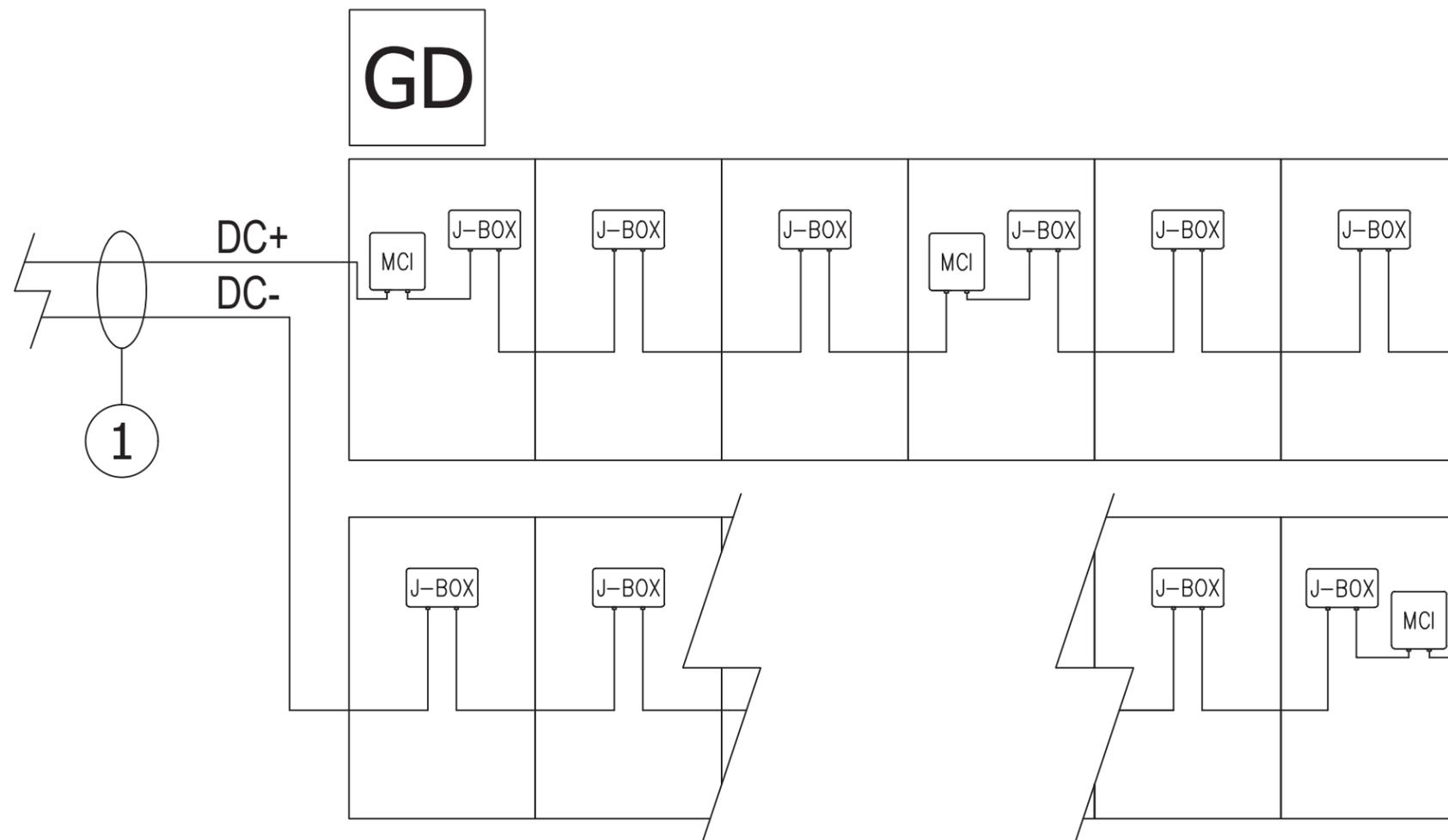
- DRAWING OF STANDARD MCI WIRING DETAIL FOR ANY GIVEN STRING LENGTH
- IF INITIATED, RAPID SHUTDOWN OCCURS WITHIN 30 SECONDS OF ACTIVATION AND LIMITS VOLTAGE ON THE ROOF TO NO GREATER THAN 165V (690.12.B.2.1)
- MID CIRCUIT INTERRUPTER (MCI) IS A UL 1741 PVRSE CERTIFIED RAPID SHUTDOWN DEVICE (RSD)

## RETROFIT PV MODULES

- MCIS ARE LOCATED AT ROOF LEVEL, JUST UNDER THE PV MODULES IN ACCORDANCE WITH 690.12 REQUIREMENTS
- THE QUANTITY OF MCIS PER STRING IS DETERMINED BY STRING LENGTH
  - NUMBER OF MODULES BETWEEN MCI UNITS = 0-3
  - MAXIMUM NUMBER OF MODULES PER MCI UNIT = 3
  - MINIMUM NUMBER MCI UNITS = MODULE COUNT/3

\*Exception: Tesla (Longi) modules installed in locations where the max Voc for 3 modules at low design temperature exceeds 165V shall be limited to 2 modules between MCIs.

PLEASE REFER TO MCI CUTSHEET AND PVRSA INSERT FOR MORE INFORMATION



① (2)AWG, PV Wire, 600V, Black

DC

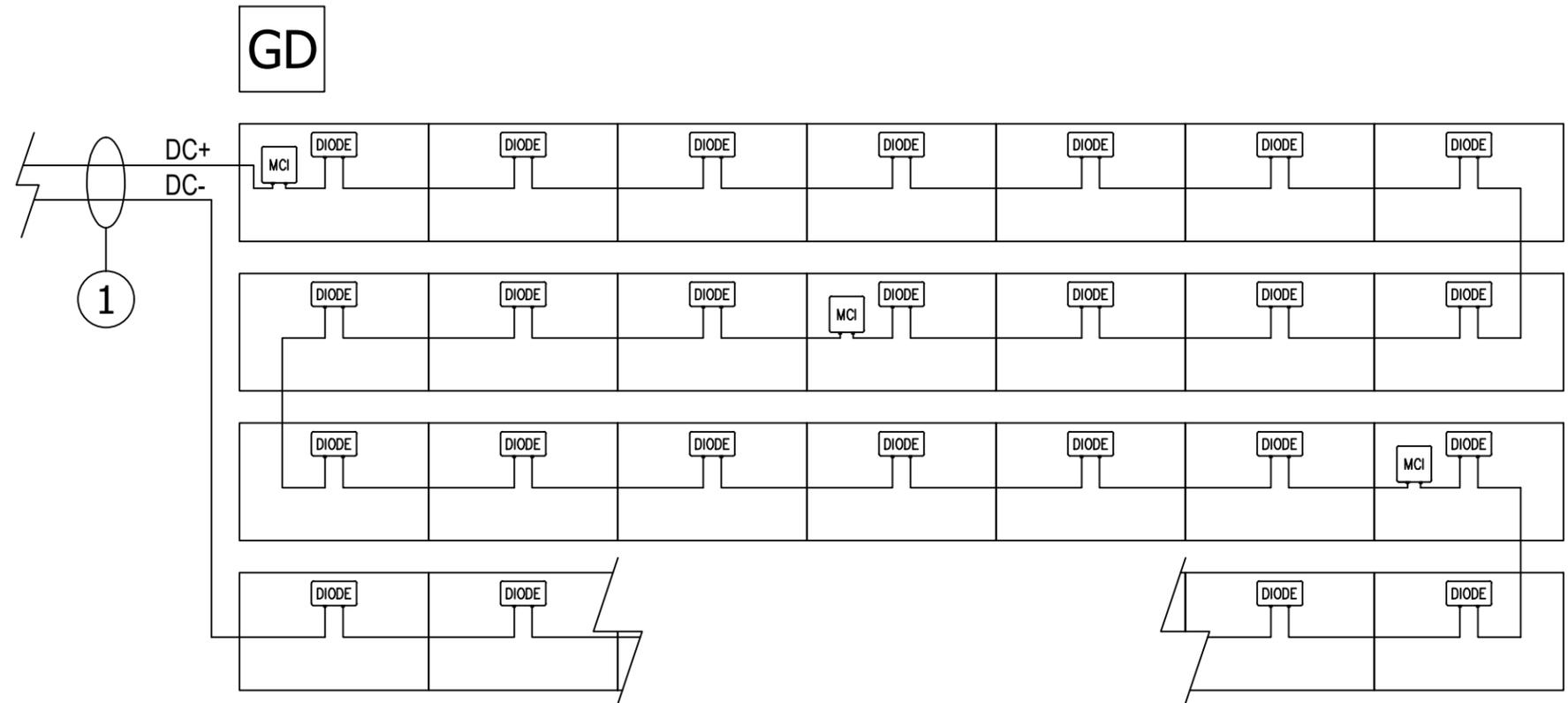
# MCI WIRING DETAIL

## GENERAL NOTES

- DRAWING OF STANDARD MCI WIRING DETAIL FOR ANY GIVEN STRING LENGTH
- IF INITIATED, RAPID SHUTDOWN OCCURS WITHIN 30 SECONDS OF ACTIVATION AND LIMITS VOLTAGE ON THE ROOF TO NO GREATER THAN 165V (690.12.B.2.1)
- MID CIRCUIT INTERRUPTER (MCI) IS A UL 1741 PVRSE CERTIFIED RAPID SHUTDOWN DEVICE (RSD)

## SOLAR ROOF TILES

- MCIS ARE LOCATED AT DECK LEVEL, JUST UNDER THE TILES IN ACCORDANCE WITH 690.12 REQUIREMENTS
- THE QUANTITY OF MCIS PER STRING IS DETERMINED BY STRING LENGTH
  - NUMBER OF TILES BETWEEN MCI UNITS = 0-10
  - MAXIMUM NUMBER OF TILES PER MCI UNIT = 10
  - MINIMUM NUMBER MCI UNITS = TILE COUNT/10



PLEASE REFER TO MCI CUTSHEET AND PVRSA INSERT FOR MORE INFORMATION

① (2)AWG, PV Wire, 600V, Black

DC



## POWERWALL+

Powerwall+ is an integrated solar battery system that stores energy from solar production. Powerwall+ has two separate inverters, one for battery and one for solar, that are optimized to work together. Its integrated design and streamlined installation allow for simple connection to any home, and improved surge power capability brings whole home backup in a smaller package. Smart system controls enable owners to customize system behavior to suit their renewable energy needs.

### KEY FEATURES

- Integrated battery, inverter, and system controller for a more compact install
- A suite of application modes, including self-powered, time-based control, and backup modes
- Wi-Fi, Ethernet, and LTE connectivity with easy over-the-air updates

NA 2021-12-07

## POWERWALL+

### PHOTOVOLTAIC (PV) AND BATTERY ENERGY STORAGE SYSTEM (BESS) SPECIFICATIONS

<b>Powerwall+ Model Number</b>	1850000-xx-y
<b>Solar Assembly Model Number</b>	1538000-xx-y
<b>Nominal Battery Energy</b>	13.5 kWh
<b>Nominal Grid Voltage (Input / Output)</b>	120/240 VAC
<b>Grid Voltage Range</b>	211.2 - 264 VAC
<b>Frequency</b>	60 Hz
<b>Phase</b>	240 VAC: 2W+N+GND
<b>Maximum Continuous Power On-Grid</b>	7.6 kW full sun / 5.8 kW no sun <sup>1</sup>
<b>Maximum Continuous Power Off-Grid</b>	9.6 kW full sun / 7 kW no sun <sup>1</sup>
<b>Peak Off-Grid Power (10 s)</b>	22 kW full sun / 10 kW no sun <sup>1</sup>
<b>Maximum Continuous Current On-Grid</b>	32 A output
<b>Maximum Continuous Current Off-Grid</b>	40 A output
<b>Load Start Capability</b>	98 - 118 A LRA <sup>2</sup>
<b>PV Maximum Input Voltage</b>	600 VDC
<b>PV DC Input Voltage Range</b>	60 - 550 VDC
<b>PV DC MPPT Voltage Range</b>	60 - 480 VDC
<b>MPPTs</b>	4 (or 2 combined strings)
<b>Input Connectors per MPPT</b>	1-2-1-2
<b>Maximum Current per MPPT (<math>I_{mp}</math>)</b>	13 A (26 A for combined strings)
<b>Maximum Short Circuit Current per MPPT (<math>I_{sc}</math>)</b>	15 A
<b>Allowable DC/AC Ratio</b>	1.7
<b>Overcurrent Protection Device</b>	50 A breaker
<b>Maximum Supply Fault Current</b>	10 kA
<b>Output Power Factor Rating</b>	+/- 0.9 to 1 <sup>3</sup>
<b>Round Trip Efficiency</b>	90% <sup>4</sup>
<b>Solar Generation CEC Efficiency</b>	97.5% at 208 V 98.0% at 240 V
<b>Customer Interface</b>	Tesla Mobile App
<b>Internet Connectivity</b>	Wi-Fi, Ethernet, Cellular LTE/4G <sup>5</sup>
<b>PV AC Metering</b>	Revenue grade (+/-0.5%)
<b>Protections</b>	Integrated arc fault circuit interrupter (AFCI), PV Rapid Shutdown
<b>Warranty</b>	10 years

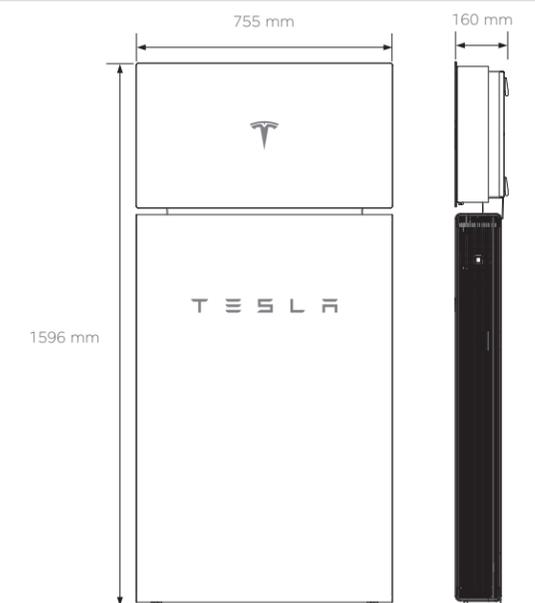
### COMPLIANCE INFORMATION

<b>PV Certifications</b>	UL 1699B, UL 1741, UL 3741, UL 1741 SA, UL 1998 (US), IEEE 1547, IEEE 1547.1
<b>Battery Energy Storage System Certifications</b>	UL 1642, UL 1741, UL 1741 PCS, UL 1741 SA, UL 1973, UL 9540, IEEE 1547, IEEE 1547.1, UN 38.3
<b>Grid Connection</b>	United States
<b>Emissions</b>	FCC Part 15 Class B
<b>Environmental</b>	RoHS Directive 2011/65/EU
<b>Seismic</b>	AC156, IEEE 693-2005 (high)

TESLA

### MECHANICAL SPECIFICATIONS

<b>Dimensions</b>	1596 x 755 x 160 mm (62.8 x 29.7 x 6.3 in)
<b>Total Weight</b>	140 kg (310 lb) <sup>6</sup>
<b>Battery Assembly</b>	118 kg (261 lb)
<b>Solar Assembly</b>	22 kg (49 lb)
<b>Mounting options</b>	Floor or wall mount



### ENVIRONMENTAL SPECIFICATIONS

<b>Operating Temperature</b>	-20°C to 50°C (-4°F to 122°F) <sup>7</sup>
<b>Recommended Temperature</b>	0°C to 30°C (32°F to 86°F)
<b>Operating Humidity (RH)</b>	Up to 100%, condensing
<b>Storage Conditions</b>	-20°C to 30°C (-4°F to 86°F) Up to 95% RH, non-condensing State of Energy (SoE): 25% initial
<b>Maximum Elevation</b>	3000 m (9843 ft)
<b>Environment</b>	Indoor and outdoor rated
<b>Enclosure Type</b>	Type 3R
<b>Solar Assembly Ingress Rating</b>	IP55 (Wiring Compartment)
<b>Battery Assembly Ingress Rating</b>	IP56 (Wiring Compartment) IP67 (Battery & Power Electronics)
<b>Noise Level @ 1 m</b>	< 40 db(A) optimal, < 50 db(A) maximum

<sup>1</sup>Values provided for 25°C (77°F).

<sup>2</sup>Load start capability may vary.

<sup>3</sup>Power factor rating at max real power.

<sup>4</sup>AC to battery to AC, at beginning of life.

<sup>5</sup>Cellular connectivity subject to network service coverage and signal strength.

<sup>6</sup>The total weight does not include the Powerwall+ bracket, which weighs an additional 9 kg (20 lb).

<sup>7</sup>Performance may be de-rated at operating temperatures below 10°C (50°F) or greater than 43°C (109°F).

NA 2021-12-07

TESLA.COM/ENERGY

## SOLAR SHUTDOWN DEVICE

The Tesla Solar Shutdown Device is part of the PV system rapid shutdown (RSD) function in accordance with Article 690 of the applicable NEC. When paired with Powerwall+, solar array shutdown is initiated by turning the Powerwall+ Enable switch off, or by pushing the System Shutdown Switch if one is present.



### ELECTRICAL SPECIFICATIONS

Nominal Input DC Current Rating ( $I_{MP}$ )	12 A
Maximum Input Short Circuit Current ( $I_{SC}$ )	15 A
Maximum System Voltage	600 V DC

### RSD MODULE PERFORMANCE

Maximum Number of Devices per String	5
Control	Power Line Excitation
Passive State	Normally open
Maximum Power Consumption	7 W
Warranty	25 years

### COMPLIANCE INFORMATION

Certifications	UL 1741 PVRSE, UL 3741, PVRSA (Photovoltaic Rapid Shutdown Array)
RSD Initiation Method	External System Shutdown Switch
Compatible Equipment	See Compatibility Table below

### ENVIRONMENTAL SPECIFICATIONS

Ambient Temperature	-40°C to 50°C (-40°F to 122°F)
Storage Temperature	-30°C to 60°C (-22°F to 140°F)
Enclosure Rating	NEMA 4 / IP65

### UL 3741 PV HAZARD CONTROL (AND PVRSA) COMPATIBILITY

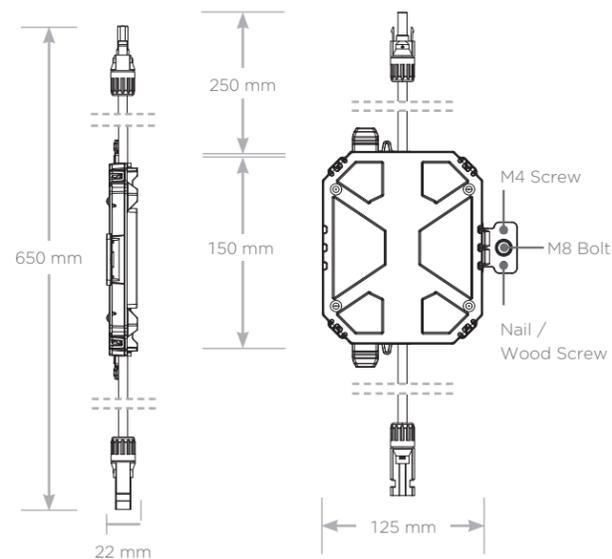
Tesla Solar Roof and Tesla/Zep ZS Arrays using the following modules are certified to UL 3741 and UL 1741 PVRSA when installed with the Powerwall+ and Solar Shutdown Devices. See the Powerwall+ Installation Manual for detailed instructions and for guidance on installing Powerwall+ and Solar Shutdown Devices with other modules.

Brand	Model	Required Solar Shutdown Devices
Tesla	Solar Roof V3	1 Solar Shutdown Device per 10 modules
Tesla	Tesla TxxxS (where xxx = 405 to 450 W, increments of 5)	1 Solar Shutdown Device per 3 modules <sup>1</sup>
Hanwha	Q.PEAK DUO BLK-G5	1 Solar Shutdown Device per 3 modules
Hanwha	Q.PEAK DUO BLK-G6+	1 Solar Shutdown Device per 3 modules

<sup>1</sup>Exception: Tesla solar modules installed in locations where the max Voc for three modules at low design temperatures exceeds 165 V shall be limited to two modules between MCIs.

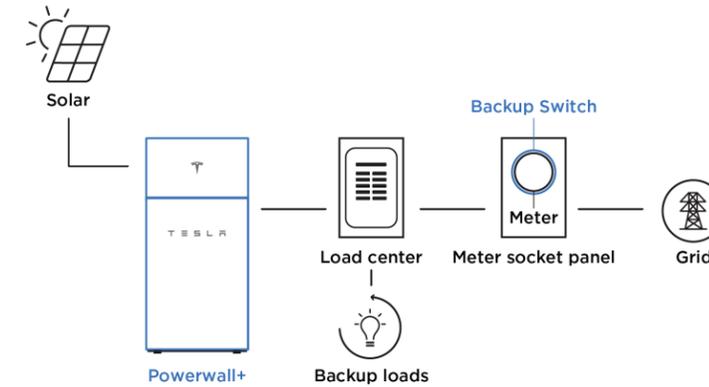
### MECHANICAL SPECIFICATIONS

Electrical Connections	MC4 Connector
Housing	Plastic
Dimensions	125 mm x 150 mm x 22 mm (5 in x 6 in x 1 in)
Weight	350 g (0.77 lb)
Mounting Options	ZEP Home Run Clip M4 Screw (#10) M8 Bolt (5/16") Nail / Wood screw

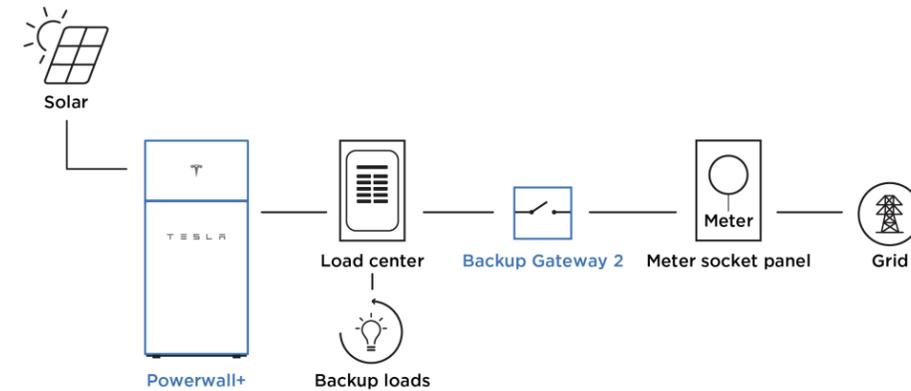


## SYSTEM LAYOUTS

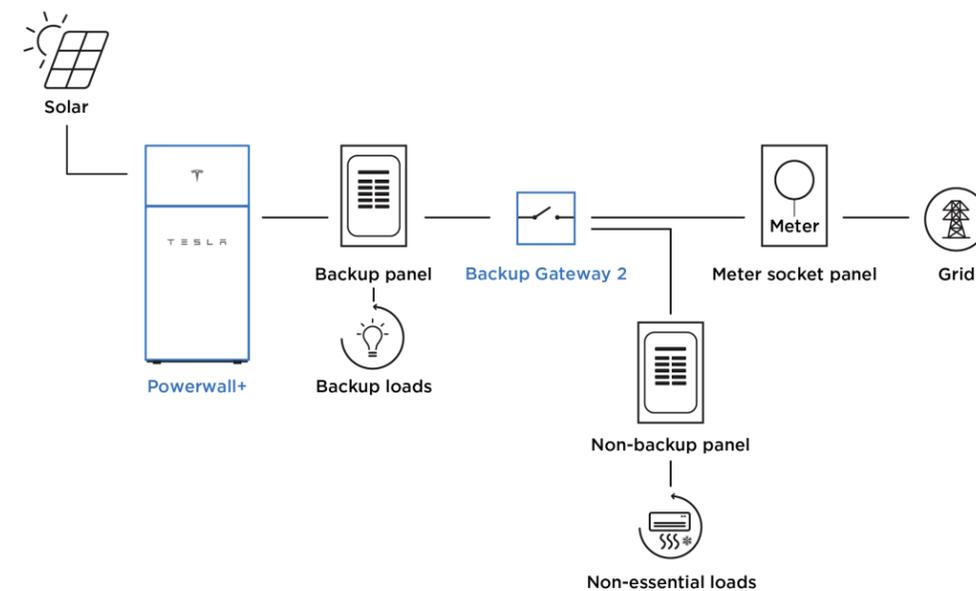
Powerwall+ with Backup Switch for Whole Home Backup



Powerwall+ with Backup Gateway 2 for Whole Home Backup



Powerwall+ with Backup Gateway 2 for Partial Home Backup



# Tesla Photovoltaic Module

T420S, T425S, and T430S

## Maximum Power

The Tesla module is one of the most powerful residential photovoltaic modules available. Our system requires up to 20 percent fewer modules to achieve the same power as a standard system. The module boasts a high conversion efficiency and a half-cell architecture that improves shade tolerance.

## Beautiful Solar

Featuring our proprietary Zep Groove design, the all-black module connects easily with Tesla ZS components to keep panels close to your roof and close to each other for a blended aesthetic with simple drop-in and precision quarter-turn connections.

## Reliability

Tesla modules are subject to automotive-grade engineering scrutiny and quality assurance, far exceeding industry standards. Modules are certified to IEC / UL 61730 - 1, IEC / UL 61730 - 2 and IEC 61215.



## Module Specifications

### Electrical Characteristics

Power Class	T420S		T425S		T430S	
	STC	NOCT	STC	NOCT	STC	NOCT
Test Method	STC	NOCT	STC	NOCT	STC	NOCT
Max Power, P <sub>MAX</sub> (W)	420	313.7	425	317.4	430	321.1
Open Circuit Voltage, V <sub>OC</sub> (V)	48.5	45.47	48.65	45.61	48.8	45.75
Short Circuit Current, I <sub>SC</sub> (A)	11.16	9.02	11.24	9.09	11.32	9.15
Max Power Voltage, V <sub>MP</sub> (V)	40.90	38.08	41.05	38.22	41.20	38.36
Max Power Current, I <sub>MP</sub> (A)	10.27	8.24	10.36	8.3	10.44	8.37
Module Efficiency (%)	19.3		19.6		19.8	
STC	1000 W/m <sup>2</sup> , 25°C, AM1.5					
NOCT	800 W/m <sup>2</sup> , 20°C, AM1.5, wind speed 1m/s					

### Mechanical Loading

Front Side Test Load	6120 Pa   128 lb/ft <sup>2</sup>
Rear Side Test Load	5190 Pa   108 lb/ft <sup>2</sup>
Front Side Design Load	4080 Pa   85 lb/ft <sup>2</sup>
Rear Side Design Load	3460 Pa   72 lb/ft <sup>2</sup>
Hailstone Test	25 mm Hailstone at 23 m/s

### Mechanical Parameters

Cell Orientation	144 (6 x 24)
Junction Box	IP68, 3 diodes
Cable	4 mm <sup>2</sup>   12 AWG, 1400 mm   55.1 in. Length
Connector	Staubli MC4 or EVO2
Glass	3.2 mm ARC Glass
Frame	Black Anodized Aluminum Alloy
Weight	25.3 kg   55.8 lb
Dimension	2094 mm x 1038 mm x 40 mm 82.4 in x 40.9 in x 1.57 in

### Operation Parameters

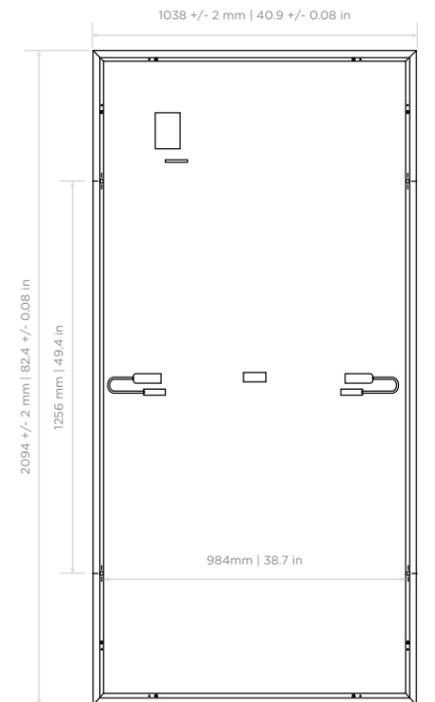
Operational Temperature	-40°C up to +85°C
Power Output Tolerance	-0 /+5 W
V <sub>OC</sub> & I <sub>SC</sub> Tolerance	+/- 3%
Max System Voltage	DC 1000 V (IEC/UL)
Max Series Fuse Rating	20 A
NOCT	45.7 +/- 2°C
Safety Class	Class II
Fire Rating	UL Type 1 or 2

### Temperature Rating (STC)

Temperature Coefficient of I <sub>SC</sub>	+0.040% / °C
Temperature Coefficient of V <sub>OC</sub>	-0.260% / °C
Temperature Coefficient of P <sub>MAX</sub> (W)	-0.331% / °C



40 +/- 0.5 mm  
1.57 +/- 0.020 in

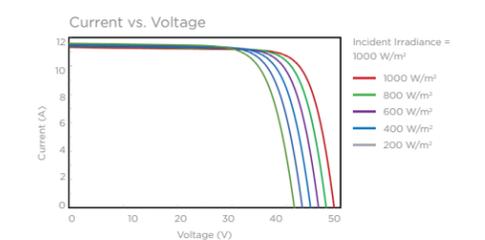
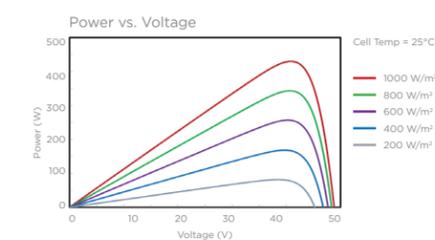
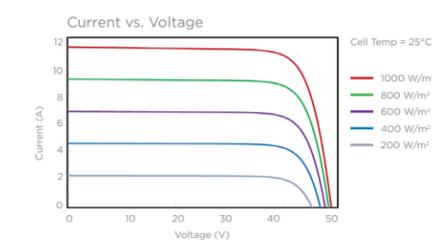


## Limited Warranty

Materials and Processing	25 years
Extra Linear Power Output	25 years

The maximum P<sub>max</sub> degradation is 2% in the 1st year and 0.54% annually from the 2nd to 25th year.

## Linear Power Warranty



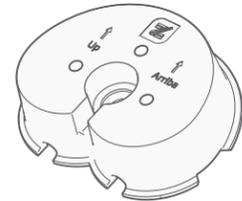
# ROOFING SYSTEM SPECIFICATIONS



<b>DESCRIPTION</b>	PV mounting solution for composition shingle roofs.
	Works with all Zep Compatible Modules.
	Auto bonding UL-listed hardware creates structural and electrical bond.
<b>SPECIFICATIONS</b>	Designed for pitched roofs.
	Installs in portrait and landscape orientations.
	Engineered for spans up to 72" and cantilevers up to 24".
	ZS Comp has a UL 1703 Class "A" Fire Rating when installed using modules from any manufacturer certified as "Type 1" or "Type 2".
	Attachment method UL listed to UL 2582 for Wind Driven Rain.
	ZS Comp supports 50 psf (2400 Pa) front and up to 72 psf (3450 Pa) rear side design load rating for Portrait module orientation per UL 2703.
	ZS Comp supports 50 psf (2400 Pa) front side and up to 72 psf (3450 Pa) rear side design load rating for Landscape module orientation.
	Engineered for compliance with ASCE 7-05, 7-10, and 7-16 wind load requirements.
	Zep wire management products listed to UL 1565 for wire positioning devices.
ZS Comp grounding products are listed to UL 2703 and UL 467.	
ZS Comp bonding products are listed to UL 2703.	

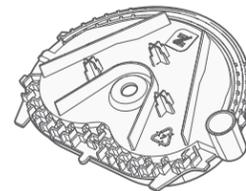
## MOUNTING BLOCK

Listed to UL 2703  
Part #850-1633



## FLASHING INSERT

Listed to UL 2703 and UL 2582 for Wind Driven Rain  
Part #850-1628



## CAPTURED WASHER LAG

Part #850-1631-002 and #850-1631-004



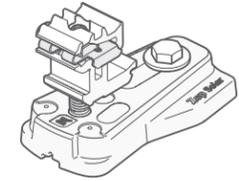
## GROUND ZEP

Listed to UL 2703  
Part #850-1511



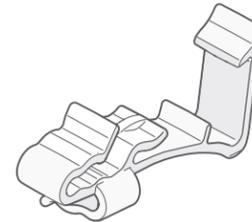
## LEVELING FOOT

Listed to UL 2703  
Part #850-1397



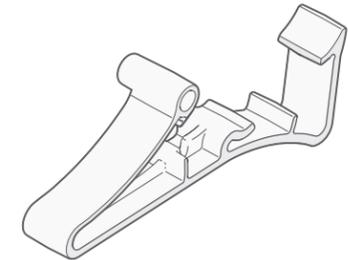
## DC WIRE CLIP

Listed to UL 1565  
Part #850-1509



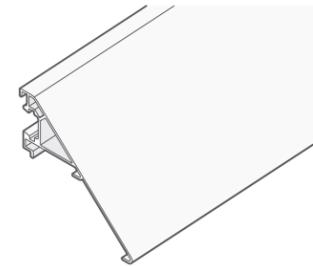
## HOME RUN CLIP

Listed to UL 1565  
Part #850-1510



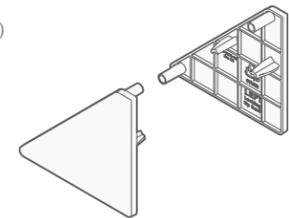
## ARRAY SKIRT

Listed to UL 2703  
Part #850-1608



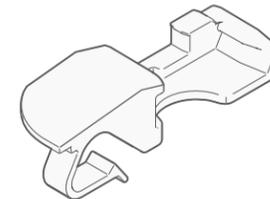
## END CAP

Listed to UL 2703  
Part #850-1586 (Left)  
Part #850-1588 (Right)



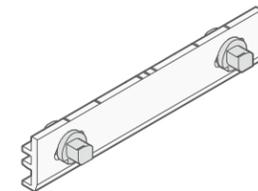
## SKIRT GRIP

Listed to UL 2703  
Part #850-1606



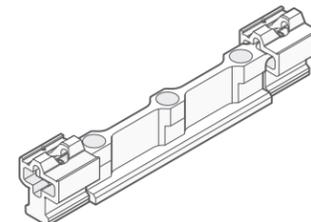
## INTERLOCK

Listed to UL 2703  
Part #850-1613



## HYBRID INTERLOCK

Listed to UL 2703  
Part #850-1281



# PV HAZARD CONTROL SYSTEM | ZS PVHCS

UL 3741 REPORT DATE 10-20-21 (APPLICABLE TO ZS COMP, ZS SPAN, ZS RAMP, AND ZS SEAM)

PV RAPID SHUTDOWN ARRAY, UL 1741 CATEGORY QIJR

WARNING: To reduce the risk of injury, read all instructions.

## PV HAZARD CONTROL EQUIPMENT AND COMPONENTS

Function	Manufacturer	Model No.	Firmware Versions and Checksums	Certification Standard
PVRSE Mid Circuit Interrupter (MCI)	Tesla	MCI-1	N/A	UL 1741 PVRSE
Inverter or Powerwall+	Tesla	7.6 kW: 1538000 <sup>1</sup> 3.8 kW: 1534000 <sup>1</sup> 7.6 kW: 1850000 <sup>1</sup>	V4, CEA4F802 V4, FF7BE4E1 V4, CEA4F802	UL 1741, 1998 PVRSS/PVRSE
PV Module	Hanwha/ Q-CELLS Tesla	Q.PEAK DUO BLK-G5/SC310-320 Q.PEAK DUO BLK G6+/SC330-345 Tesla TxxxS (xxx = 405 to 450) Tesla TxxxH (xxx = 395 to 415)	N/A	UL 1703 UL 61730
PVHCS Initiator (PV Inverter)	Dedicated PV system AC circuit breaker or AC disconnect switch, labeled per NEC 690.12 requirements.			N/A
PVHCS Initiator (Powerwall+)	Emergency stop device (NISD)- Listed "Emergency Stop Button" or "Emergency Stop Device" or "Emergency Stop Unit".			UL 508 or UL 60947 Parts 1, 5-1 and 5-5

<sup>1</sup> Applies to variations of this part number with suffix of two numbers and one letter.

Note: PVHCS installation requirements may reduce the effective equipment and component ratings below the individual equipment and component PVRSE ratings in order to achieve PVHCS shock hazard reduction requirements.

## PVHCS INSTALLATION REQUIREMENTS

Max System Voltage	600 Vdc
PVHCS Maximum Circuit Voltage (Array Internal Voltage After Actuation)	165 Vdc (cold weather open circuit)
Max Series-Connected Modules Between MCIs: *Exception: Tesla S-Series (TxxxS) modules installed in locations where the max VOC for 3 modules at low design temperature exceeds 165V shall be limited to 2 modules between MCIs.	3*

## OTHER INSTALLATION INSTRUCTIONS

1. An MCI must be connected to one end of each series string or mounting plane sub-array string.
2. Verification that MCIs are installed with 3 or fewer modules between MCIs shall be documented for inspection, by voltage measurement logs and/or as-built string layout diagrams.
3. For PV Inverter: The PVHCS initiator (AC breaker or switch) shall be sized and installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings.
4. For Powerwall+: The PVHCS emergency stop initiator shall have the following minimum ratings: Outdoor (Type 3R or higher), 12V, 1A, and shall be installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings. Refer to the Powerwall+ installation manual for further details.



Certification Mark of UL on the installation instructions is the only method provided by UL to identify products manufactured under its Certification and Follow-Up Service. The Certification Mark for these products includes the UL symbol, the words "CERTIFIED" and "SAFETY," the geographic identifier(s), and a file number.

# PV HAZARD CONTROL SYSTEM PVHCS | CERTIFICATION

UL 3741 REPORT DATE 8-12-21

PV RAPID SHUTDOWN ARRAY, UL 1741 CATEGORY QIJR, REPORT DATE: 2021-06-11 (REV 8-10-21)

WARNING: To reduce the risk of injury, read all instructions.

## PV HAZARD CONTROL EQUIPMENT AND COMPONENTS

Function	Manufacturer	Model No.	Firmware Versions and Checksums	Certification Standard
PVRSE Mid Circuit Interrupter (MCI)	Tesla	MCI-1 1550379 <sup>1</sup>	N/A	UL 1741 PVRSE
Inverter or Powerwall+	Tesla	7.6 kW: 1538000 <sup>1</sup> 3.8 kW: 1534000 <sup>1</sup> 7.6 kW: 1850000 <sup>1</sup>	V4, CEA4F802 V4, FF7BE4E1 V4, CEA4F802	UL 1741, 1998 PVRSS/PVRSE
PV Module	Tesla	SR60T1, SR72T1 SR72T2	N/A	UL 61730
Diode Harness (Not applicable to SR72T2)	Tesla	SRDTH	N/A	UL 9703
PV Wire Jumper(s)	Tesla	SR-BJ2X, SR-BJ3X, SR-BJ4X, SR-BJMini	N/A	UL 9703
Pass-Through Box	Tesla	SRPTB-4	N/A	UL 1741
PVHCS Initiator : (PV Inverter)	Dedicated PV system AC circuit breaker or AC disconnect switch, labeled per NEC 690.12 requirements.			N/A
PVHCS Initiator : (Powerwall+)	Emergency stop device (NISD)- Listed "Emergency Stop Button" or "Emergency Stop Device" or "Emergency Stop Unit"			UL 508 or UL 60947 Parts 1, 5-1 and 5-5

<sup>1</sup> Applies to variations of this part number with suffix of two numbers and one letter.

Note: PVHCS installation requirements may reduce the effective equipment and component ratings below the individual equipment and component PVRSE ratings in order to achieve PVHCS shock hazard reduction requirements.

## PVHCS INSTALLATION REQUIREMENTS

Max System Voltage	600 Vdc
PVHCS Maximum Circuit Voltage (Array Internal Voltage After Actuation)	165 Vdc (cold weather open circuit)
Max Series-Connected Panels between MCIs	10

## OTHER INSTALLATION INSTRUCTIONS

1. An MCI must be connected to one end of each series string or mounting plane sub-array string.
2. Verification that MCIs are installed with 10 or fewer modules between MCIs shall be documented for inspection, by voltage measurement logs and/or as-built string layout diagrams.
3. For PV Inverter: The PVHCS initiator (AC breaker or switch) shall be sized and installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings.
4. For Powerwall+: The PVHCS emergency stop initiator shall have the following minimum ratings: Outdoor (Type 3R or higher), 12V, 1A, and shall be installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings. Refer to the Powerwall+ installation manual for further details.



Certification Mark of UL on the installation instructions is the only method provided by UL to identify products manufactured under its Certification and Follow-Up Service. The Certification Mark for these products includes the UL symbol, the words "CERTIFIED" and "SAFETY," the geographic identifier(s), and a file number.

## Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 217032

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
217017	HARVEY, ANDREW JAMES & KATHERINE LATHROP TRS	ANDREW JAMES HARVEY & KATHERINE LATHROP HARVEY REV LIV TR	8566 FALLBROOK CIRCLE UNIT 704D		HUNTINGTON BEACH	CA	92646
217018	DONEHEY, KELLI A TR	KELLI A DONEHEY TRUST	2026 MAIN STREET		WEST BARNSTABLE	MA	02668
217019Woo	CANEGALLO, KRISTIE		101 ELLINGTON STREET		LONGMEADOW	MA	01106
217020003	CHILDS, PAUL R & CATALANO, KIMBERLY M		71 MAGGIE LANE		WEST BARNSTABLE	MA	02668
217020004	CHRISTIAN CONGREGATION IN THE US		12 DAY STREET		LYNN	MA	01905
217032	HORN, REBECCA & GERARD T JR		40 MAGGIE LANE		WEST BARNSTABLE	MA	02668
217049	ROBSON, PHILIP J & MOLLY KIRBY		113 TYNDALE STREET		ROSLINDALE	MA	02131-2318
217054	COSTELLO, SANDRA		2022 MAIN ST		WEST BARNSTABLE	MA	02668



### Legend

Road Names



Map printed on: 1/12/2022



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 1/12/2022



Approx. Scale: 1 inch = 167 feet



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Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

# Historic Districts (OKH or HMSWHD) Abutter Map for Subject Parcel 217032

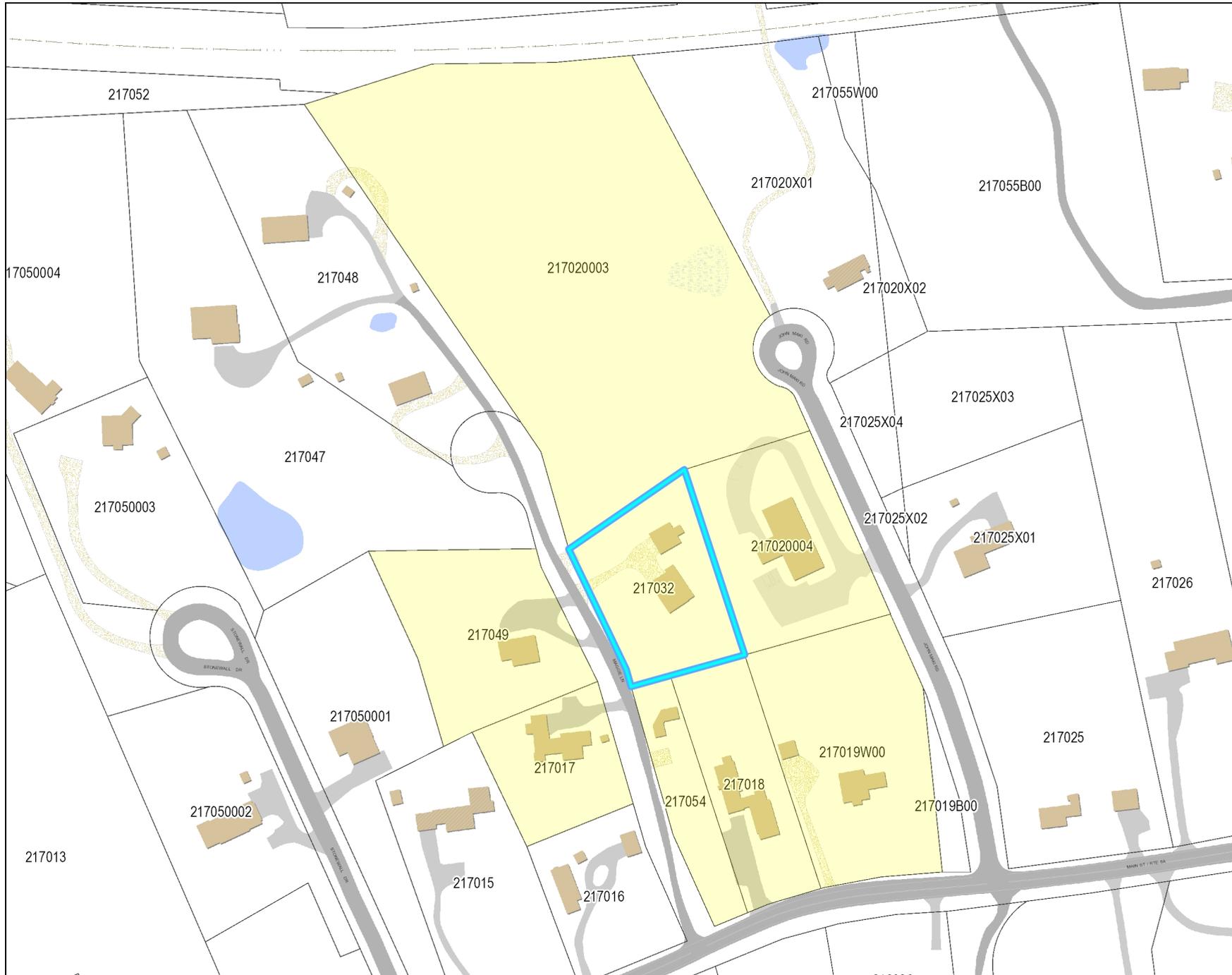
Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

## Town of Barnstable GIS Unit

gis@town.barnstable.ma.us

### Legend

- Subject Parcel
- Abutters
- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Buildi
  - Buildings
- Parking Lots
- Roads
  - Paved
  - Unpaved
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Water Bodies



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Printed on: 1/12/2022

Property ID: 217017  
HARVEY, ANDREW JAMES & KATHERINE  
ANDREW JAMES HARVEY & KATHERINE  
8566 FALLBROOK CIRCLE UNIT 704D  
HUNTINGTON BEACH, CA 92646

Property ID: 217018  
DONEHEY, KELLI A TR  
KELLI A DONEHEY TRUST  
2026 MAIN STREET  
WEST BARNSTABLE, MA 02668

Property ID: 217019W00  
CANEGALLO, KRISTIE  
101 ELLINGTON STREET  
LONGMEADOW, MA 01106

Property ID: 217020003  
CHILDS, PAUL R & CATALANO, KIMBERLY M  
71 MAGGIE LANE  
WEST BARNSTABLE, MA 02668

Property ID: 217020004  
CHRISTIAN CONGREGATION IN THE US  
12 DAY STREET  
LYNN, MA 01905

Property ID: 217032  
HORN, REBECCA & GERARD T JR  
40 MAGGIE LANE  
WEST BARNSTABLE, MA 02668

Property ID: 217049  
ROBSON, PHILIP J & MOLLY KIRBY  
113 TYNDALE STREET  
ROSLINDALE, MA 02131-2318

Property ID: 217054  
COSTELLO, SANDRA  
2022 MAIN ST  
WEST BARNSTABLE, MA 02668

Parcel: 217-032

Location: 40 MAGGIE LANE, West Barnstable

Owner: HORN, REBECCA & GERARD T JR



Parcel 217-032  
Location 40 MAGGIE LANE  
Village West Barnstable  
Town sewer account No

Developer lot: UNNUM LOT  
Road type Private  
Fire district W Barnstable  
Property Record Card  
[Property Record Card PDF File](#)

Secondary road  
Road index 0945  
Interactive map



CWMP Sewer Expansion (subject to change with final engineering design)  
None planned at this time

Asbuilt septic scan  
[217032\\_1](#)

Owner: HORN, REBECCA & GERARD T JR

Owner HORN, REBECCA & GERARD T JR	Co-Owner	Book page 28718/0040
Street1 40 MAGGIE LANE	Street2	Street3
City WEST BARNSTABLE	County	State Zip Country MA 02668

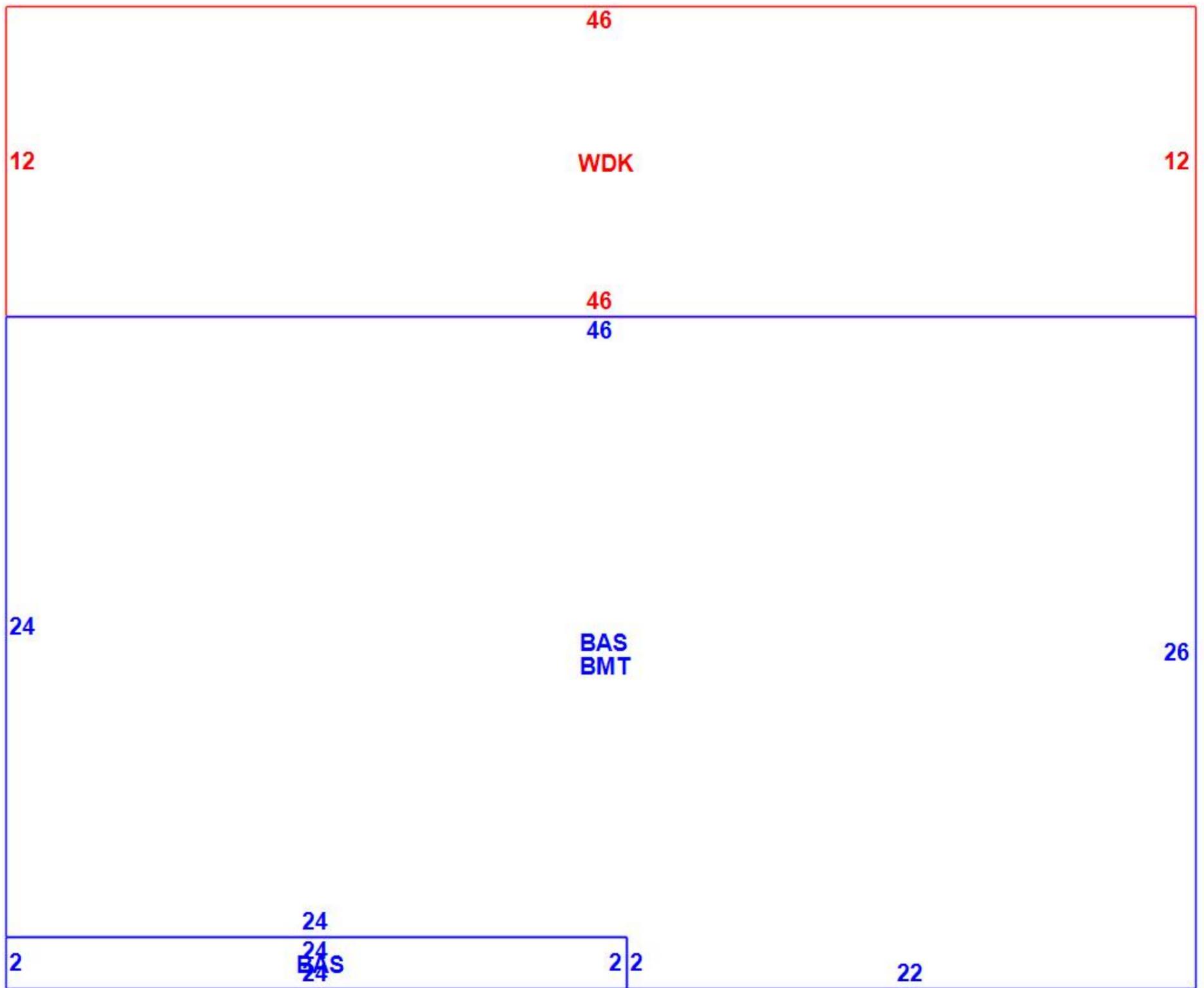
Land

Acres 0.87	Use Single Fam M-01	Zoning RF	Neighborhood 0106
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Gas,Well,Septic	Location factor	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1972	Roof structure Gable/Hip	Heat type Hot Water
Living area 1196	Roof cover Asph/F Gls/Cmp	Heat fuel Oil
Gross area 2896	Exterior wall Wood Shingle, Clapboard	AC type None
Style Raised Ranch	Interior wall Drywall	Bedrooms 3 Bedrooms
Model Residential	Interior floor Carpet, Hardwood	Bath rooms 1 Full-1 Half
Grade Average	Foundation	Total rooms 6 Rooms
Stories 1		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
02/07/2019	Insulation	19-89	\$3,473	06/30/2019	R-38 damming, r-37 in attic, gable vents, soffit vents, air sealing, dense pack r-28 in overhang,
01/19/2007	Remodel	200700103	\$1,000		LEGALIZE EXIST APT
07/11/2002	Remodel	62334	\$1,000	11/05/2002	
09/01/1984	Addition	B26974	\$0	01/15/1986	WB GAR

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	03/04/2015	HORN, REBECCA & GERARD T JR	28718/0040	\$300,000
2	09/27/2002	GROSSMAN, ERIC	15662/0072	\$380,000
3	04/05/2002	WALLACE, STEPHEN E & JOANNE E	15022/0286	\$200,000
4	09/28/1998	FIELDS, JOHN E	11726/0247	\$1
5	08/09/1971	FIELDS, JOHN E & CARLA S	1522/0726	\$0

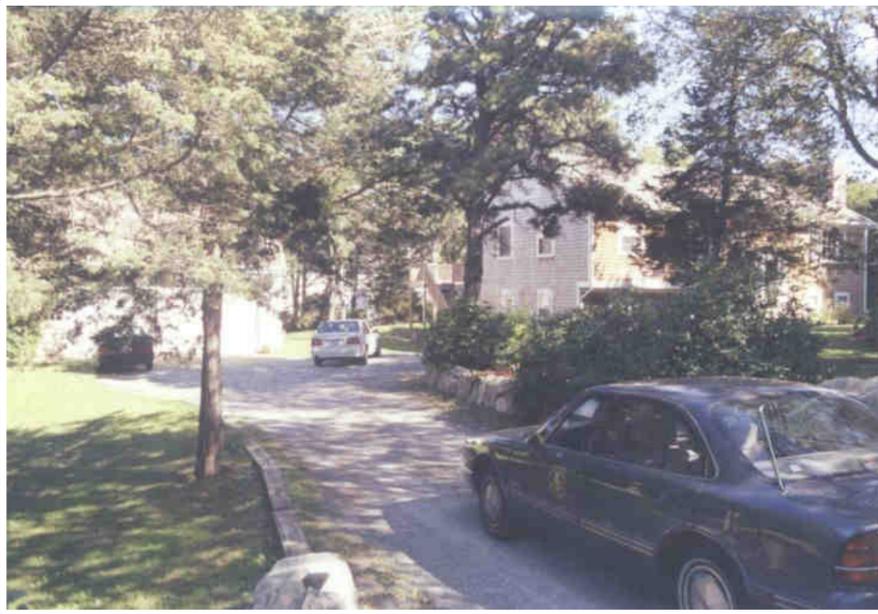
Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$191,500	\$40,000	\$62,300	\$140,800	\$434,600
2	2021	\$155,000	\$39,900	\$54,000	\$140,800	\$389,700
3	2020	\$152,200	\$36,500	\$47,100	\$140,800	\$376,600

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
4	2019	\$121,800	\$36,500	\$48,900	\$140,800	\$348,000
5	2018	\$95,200	\$37,100	\$49,900	\$154,400	\$336,600
6	2017	\$89,900	\$38,000	\$39,900	\$154,400	\$322,200
7	2016	\$107,500	\$38,000	\$39,900	\$152,200	\$337,600
8	2015	\$83,900	\$38,300	\$47,800	\$153,000	\$323,000
9	2014	\$83,900	\$38,300	\$48,500	\$153,000	\$323,700
10	2013	\$83,900	\$38,300	\$49,500	\$159,100	\$330,800
11	2012	\$87,000	\$36,000	\$48,100	\$153,000	\$324,100
12	2011	\$122,700	\$14,700	\$42,900	\$153,000	\$333,300
13	2010	\$122,600	\$14,700	\$43,800	\$183,600	\$364,700
14	2009	\$150,200	\$20,500	\$44,100	\$401,100	\$615,900
15	2008	\$207,000	\$20,500	\$0	\$348,200	\$575,700
17	2007	\$228,100	\$20,500	\$0	\$348,200	\$596,800
18	2006	\$161,400	\$16,900	\$0	\$351,100	\$529,400
19	2005	\$153,300	\$20,300	\$0	\$316,000	\$489,600
20	2004	\$177,400	\$20,000	\$900	\$371,700	\$570,000
21	2003	\$152,500	\$3,300	\$22,100	\$74,800	\$252,700
22	2002	\$152,500	\$3,300	\$22,100	\$74,800	\$252,700
23	2001	\$152,500	\$3,300	\$22,100	\$74,800	\$252,700
24	2000	\$64,000	\$2,900	\$22,300	\$61,100	\$150,300
25	1999	\$64,000	\$2,900	\$17,200	\$61,100	\$145,200
26	1998	\$64,000	\$2,900	\$17,200	\$61,100	\$145,200
27	1997	\$75,300	\$0	\$0	\$51,700	\$142,100
28	1996	\$75,300	\$0	\$0	\$51,700	\$142,100
29	1995	\$75,300	\$0	\$0	\$51,700	\$142,100
30	1994	\$72,300	\$0	\$0	\$50,700	\$138,500
31	1993	\$72,300	\$0	\$0	\$50,700	\$138,500
32	1992	\$81,900	\$0	\$0	\$56,400	\$155,800
33	1991	\$82,100	\$0	\$0	\$75,200	\$179,900
34	1990	\$82,100	\$0	\$0	\$75,200	\$179,900
35	1989	\$82,100	\$0	\$0	\$75,200	\$179,900
36	1988	\$67,200	\$0	\$0	\$39,600	\$126,000
37	1987	\$67,200	\$0	\$0	\$39,600	\$125,700
38	1986	\$67,200	\$0	\$0	\$39,600	\$125,700

Photos







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**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
 Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 1-17-22 Map & Parcel 319/008

**Property Owner** Eileen M. Farrell Phone \_\_\_\_\_

Street address 21 Meridian Way Email \_\_\_\_\_

Village Barnstable

Mailing address 27 Lakewood Rd. Jamaica Plain, MA 02130 Signature Eileen M. Farrell

**Agent/Contractor** George W. Blekely Phone 508-776-4979

Agent Address P.O. Box 206 Barnstable MA 02630 Email george@blekelybuilders.com

Agent Signature [Signature]

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

<b>Building Construction</b>	<input type="checkbox"/> New Build	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial
<b>Type of Building</b>	<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed
<b>Project</b>	<input type="checkbox"/> Roof	<input checked="" type="checkbox"/> Windows/Doors	<input checked="" type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar
<b>Landscape Feature</b>	<input checked="" type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool
<b>Signs</b>	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other

**Description of Proposed Work** Install new Box Bay Window Front of House - Replace 21 Windows with new Marvin D./H. - New AZEK colonial Handrail system Front + Rear Entries - Add Pergola 21 Front entry Deck. - Change clapboard to Natural White Cedar shingles - Repair and replace Split Rail Fence.

**DENIED**

	<b>for Committee use only</b> <span style="float: right;"><b>This Certificate is hereby APPROVED</b></span>
	By a vote of <u>Aye</u> <u>Nay</u> <u>Abstain</u> Date _____
	<b>Members signatures</b> _____
	<b>Conditions of Approval</b> _____

# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY**

Material	Color
----------	-------

**ROOF**

Make & style	Color
Roof Pitch (s) – (7/12 minimum)	

(specify on plans for new building & major additions)

**CUTTER**

Type/Material	Color
---------------	-------

**WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS**

**Window/Door Trim material**

Wood	Other specify	
<input type="checkbox"/>	<input type="checkbox"/> AZEK	
Size of cornerboards	Size of casings (1X4 min)	Color
<input type="checkbox"/> No Change	<input type="checkbox"/> 1x4	<input type="checkbox"/> White
Rakes 1 <sup>st</sup> member	2 <sup>nd</sup> Member	Depth of overhang
<input type="checkbox"/> No Change	<input type="checkbox"/> No Change	<input type="checkbox"/> No Change

**Windows:**

Make/Model	Material	Color
<input type="checkbox"/> Marvin see spec sheet	<input type="checkbox"/>	<input type="checkbox"/> Black

**Window Grills**

Divided Light	Exterior Glued Grills	Grills Between Glass
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Removable Interior Grills	No Grills	Grill Pattern
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> 6/1 <input type="checkbox"/> 4/1

**Doors:**

Style & Make	Material	Color
<input type="checkbox"/> 9 lite - 4 lite see plan	<input type="checkbox"/> Fiberglass	<input type="checkbox"/> Blue

**Garage doors:**

Style	Size of opening	Material
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Color	<input type="checkbox"/>	

**Shutters:**

Type & Style	Material	Color
<input type="checkbox"/> 2 Panel see plan	<input type="checkbox"/> Wood	<input type="checkbox"/> Blue

**Skylights:**

Type	Make & Model	
<input type="checkbox"/>	<input type="checkbox"/>	
Material	Size	Color
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**SIDING**

Type	Clapboard	Shingle	Other
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Material	Red Cedar	White Cedar	Other
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Paint Color	<input type="checkbox"/>		

**FOUNDATION**

Type	(max 12' exposed)
<input type="checkbox"/>	<input type="checkbox"/>

**DECK**

Material	Color
<input type="checkbox"/>	<input type="checkbox"/>

**SIGNS**

Size	Materials	Color
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**FENCE**

Type	(split rail, chain link)	Color
<input type="checkbox"/>	<input type="checkbox"/> Split Rail	<input type="checkbox"/> Natural
Material	Wood	Length
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> 10'

**RETAING WALL**

Description
<input type="checkbox"/>

**LIGHTING**

Type and location (free standing affixed to structure, illuminated)
<input type="checkbox"/>

**George Blakely**  
**21 Meridian Way**  
**Barnstable, Ma 02630**

**MARVIN**  
DESIGN GALLERY  
by Premium

700 Bearses Way      383 State Road  
Hyannis, MA 02601    Vineyard Haven, MA 02568  
508-771-6278      508-696-5760

[www.marvinbypremium.com](http://www.marvinbypremium.com)

Quote #: 7LUC7A6

A Proposal for Window and Door Products prepared for:

**End Customer:**

George Blakely  
Blakely Builders  
Barnstable, MA 02630

Mobile: (508) 776-4979

**Job Site:**  
02630

**Shipping Address:**

MARVIN DESIGN GALLERY BY PREMIUM-(H)  
700 BEARSES WAY  
HYANNIS, MA 02601-2258

TERRY HILLS  
MARVIN DESIGN GALLERY  
700 BEARSES WAY  
HYANNIS, MA 02601  
Phone: (508) 292-4949

Email: [thills@marvinbypremium.com](mailto:thills@marvinbypremium.com)

This report was generated on 12/24/2021 12:13:55 AM  
using the Marvin Order Management System, version  
0003.12.00 (Current). Price in USD. Unit availability  
and price are subject to change. Dealer terms and  
conditions may apply.

**Featuring products from:**

**MARVIN** 

**GLOBAL SPECS**

The following product and option choices were designated as part of this project's Global Spec. Global Specs can be overridden on a line item basis. Exceptions to the specification are outlined in Line Item Quotes. Please proof all units thoroughly to ensure accuracy.

**Elevate Spec** **MARVIN** 

Elevate Specification - Advanced Options	Advanced Options
Exterior/Interior Colors/Finishes - Exterior Color	Stone White
Exterior/Interior Colors/Finishes - Interior Finish	White
Window Glass Type - Glass Types	Low E2 w/Argon
Window Glass Type - Perimeter Bar Color	Stainless
Door Glass Type - Glass Types	Tempered Low E2 w/Argon
Door Glass Type - Perimeter Bar Color	Stainless
Divided Lites - Divided Lite Type	SDL
Divided Lites - With Spacer	True
Window Hardware - Window Handle/Lock Color	White
Window Screens - Screen Type	Aluminum Screen
Window Screens - Mesh Type	Bright View Mesh
Jamb - Jamb Depth	4 9/16"

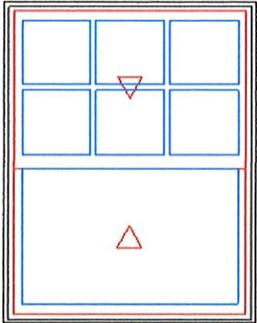


Jambs - Frame Depth	4 9/16"
Miscellaneous Options - Sash Exterior Color	Ebony

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: Mudroom/Living	Net Price:		
Qty: 2		Ext. Net Price:	USD	

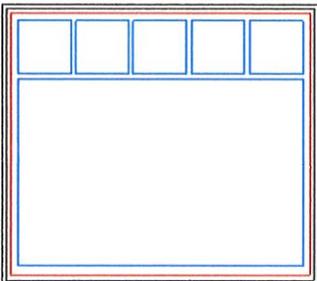


As Viewed From The Exterior

FS 41" X 52"  
 RO 42" X 52 1/2"  
**Egress Information**  
 Width: 37 7/8" Height: 21 3/32"  
 Net Clear Opening: 5.55 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.28  
 Visible Light Transmittance: 0.48  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-00944-00001  
 ENERGY STAR: NC  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Mixed Exterior Colors  
 Stone White Exterior  
**Color Mismatch: Frame and Sash Exterior Colors do not match.**  
 White Interior  
 Elevate Double Hung  
 Rough Opening 42" X 52 1/2"  
 Top Sash  
 Ebony Exterior  
 White Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W2H  
 Ebony Ext - White Int  
**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**  
 Bottom Sash  
 Ebony Exterior  
 White Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 White Sash Lock  
 Exterior Aluminum Screen  
 Stone White Surround  
 Bright View Mesh  
 4 9/16" Jambs  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
 \*\*\*Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit: Living Match Ht 52-1/2"?	Net Price:		
Qty: 1		Ext. Net Price:	USD	

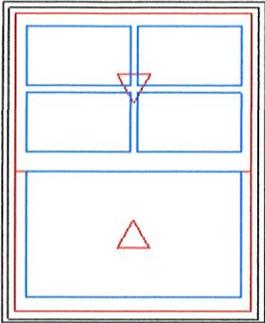


As Viewed From The Exterior

FS 58 7/8" X 52"  
 RO 59 7/8" X 52 1/2"  
**Egress Information**  
 No Egress Information available.  
**Performance Information**  
 Product Performance Information is currently unavailable in the OMS for this product and glazing option. To request product performance information not in the OMS, contact your Marvin representative or submit an Assistance Request.  
**Performance Grade**  
 Licensee #793  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1562X1924 mm (62X76.8 in)  
 LC-PG40 DP +40/-40

Mixed Exterior Colors  
 Stone White Exterior  
**Color Mismatch: Frame and Sash Exterior Colors do not match.**  
 White Interior  
 Elevate Double Hung Picture  
 Rough Opening 59 7/8" X 52 1/2"  
 Ebony Exterior  
 White Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Cottage 5W1H  
 6 Rect Lites  
 10" DLO Height  
 Ebony Ext - White Int  
 4 9/16" Jambs  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
 \*\*\*Note: Unit Availability and Price is Subject to Change





As Viewed From The Exterior

FS 32" X 39"  
 RO 33" X 39 1/2"  
**Egress Information**  
 Width: 28 7/8" Height: 14 19/32"  
 Net Clear Opening: 2.93 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.28  
 Visible Light Transmittance: 0.48  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-00944-00001  
 ENERGY STAR: NC  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

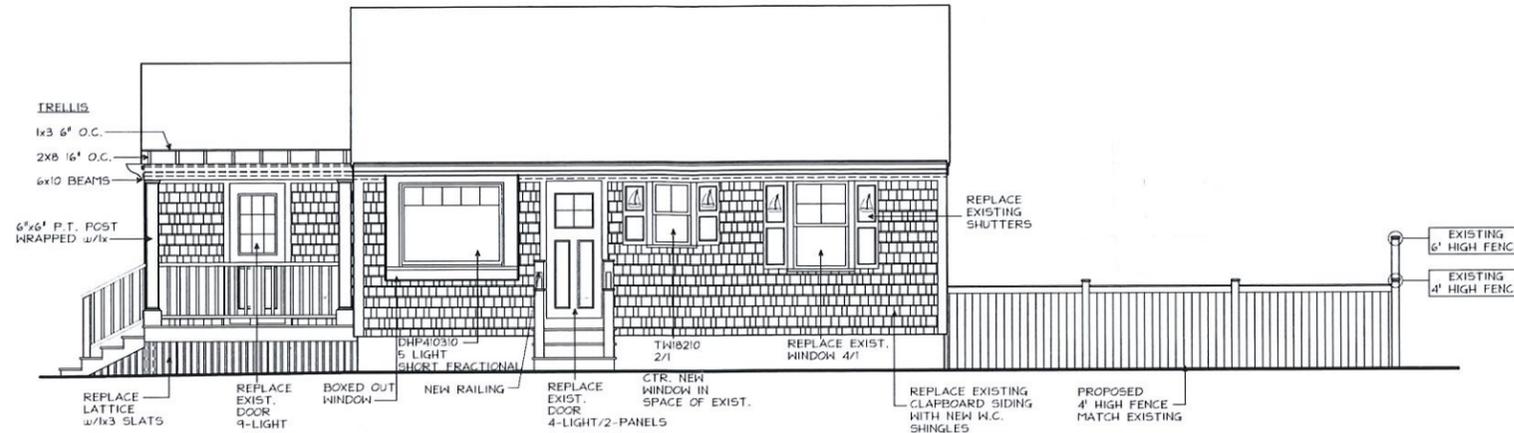
Mixed Exterior Colors  
 Stone White Exterior  
**Color Mismatch: Frame and Sash Exterior Colors do not match.**  
 White Interior  
 Elevate Double Hung  
 Rough Opening 33" X 39 1/2"  
 Top Sash  
 Ebony Exterior  
 White Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 2W2H  
 Ebony Ext - White Int  
**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**  
 Bottom Sash  
 Ebony Exterior  
 White Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 White Weather Strip Package  
 White Sash Lock  
 Exterior Aluminum Screen  
 Stone White Surround  
 Bright View Mesh  
 4 9/16" Jamb  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
 \*\*\*Note: Unit Availability and Price is Subject to Change









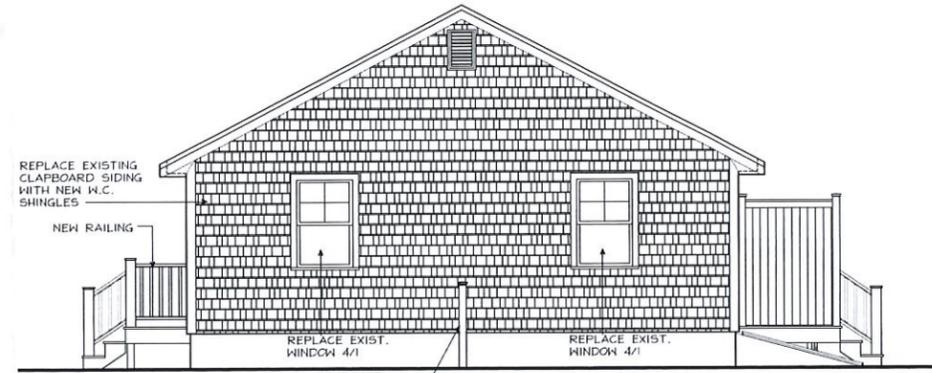


**FRONT ELEVATION**  
EAST

NOTE:  
WINDOWS AND DOORS TO BE  
REPLACED WITH SAME SIZE  
UNLESS NOTED OTHERWISE  
SIZES TO BE VERIFIED IN FIELD



**LEFT ELEVATION**  
SOUTH



**RIGHT ELEVATION**  
NORTH



**REAR ELEVATION**  
WEST

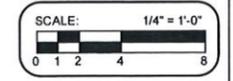
#	DATE	REVISIONS

BUILDER:

Designed by:  
  
 Custom Design, LLC  
 86 Willow Street  
 Yarmouth Port MA, 02675  
 774.944.7843  
 MainStreetCustomDesign.com  
 info@MainStreetCustomDesign.com

PROJECT:  
 PROPOSED  
**FARRELL  
 RESIDENCE**  
 21 MERIDIAN WAY  
 BARNSTABLE, MA.

SHEET:  
**ELEVATIONS**



SHEET	
<b>A.1</b>	<b>2</b>
PROJECT:	DATE:
21-960	11/29/21

OBJECTS

IDEAS

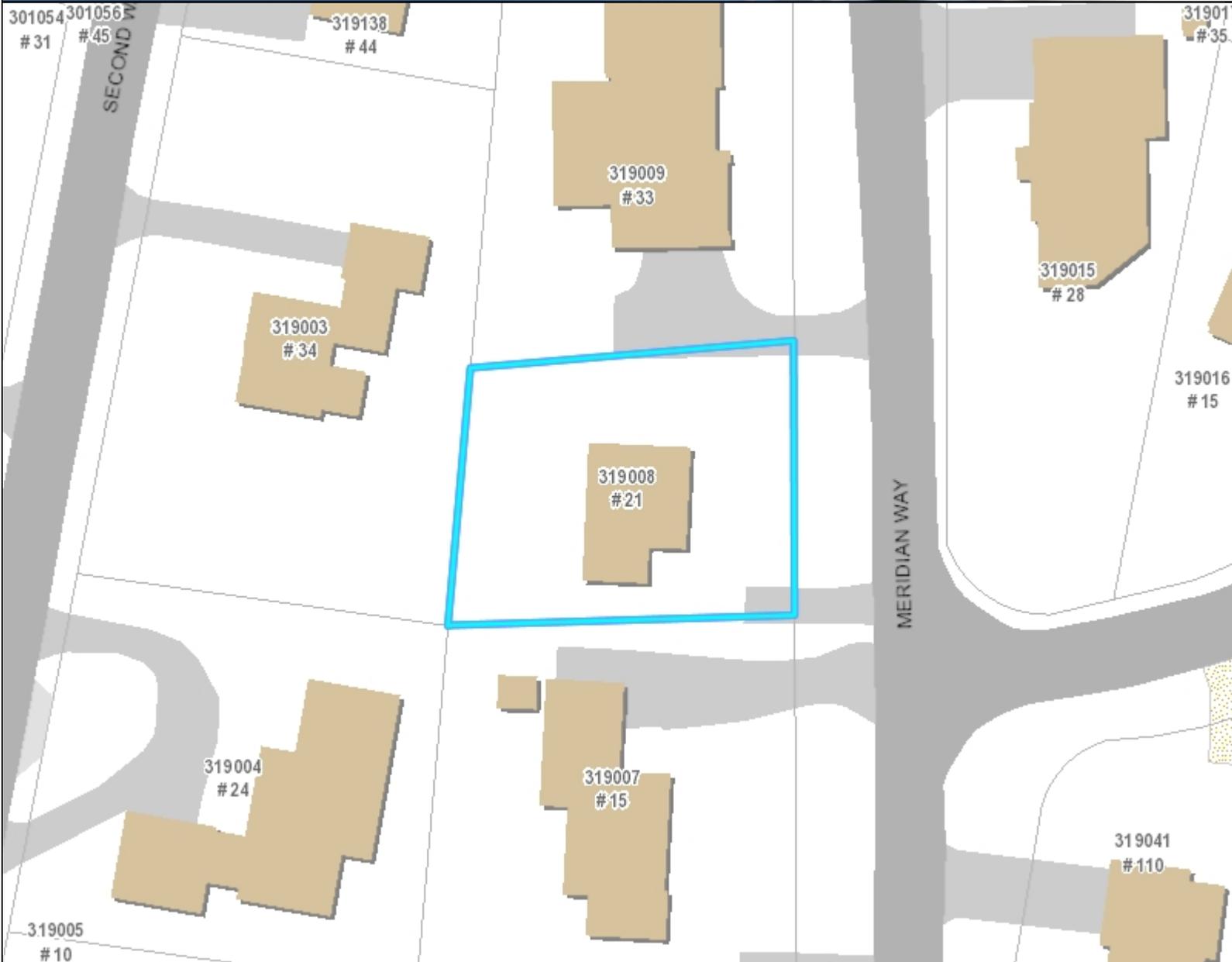
PROFESSIONALS

STORES



NEWBURYPORT BLUE





### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- ▭ Approx. Building
- ▭ Buildings
- Painted Lines
- Parking Lots
- ▭ Paved
- ▭ Unpaved
- Driveways
- ▭ Paved
- ▭ Unpaved
- Roads
- ▭ Paved Road
- ▭ Unpaved Road
- ▨ Bridge
- ▭ Paved Median
- Streams
- ▭ Marsh
- ▭ Water Bodies

Map printed on: 2/4/2022



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 2/4/2022



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 319-008

Location: 21 MERIDIAN WAY, Barnstable

Owner: FARRELL, EILEEN M



Parcel  
319-008

Location  
21 MERIDIAN WAY

Village  
Barnstable

Town sewer account  
Active

Developer lot:  
LOT 91

Road type  
Town

Fire district  
Barnstable

Property Record Card  
[Property Record Card PDF File](#)

Secondary road

Road index  
1019

Interactive map



CWMP Sewer Expansion (subject to change with final engineering design)  
None planned at this time

Owner: FARRELL, EILEEN M

Owner FARRELL, EILEEN M	Co-Owner	Book page C228296/0
Street1 27 LAKEVILLE ROAD	Street2	Street3
City JAMAICA PLAIN	State Zip Country MA 02130	County

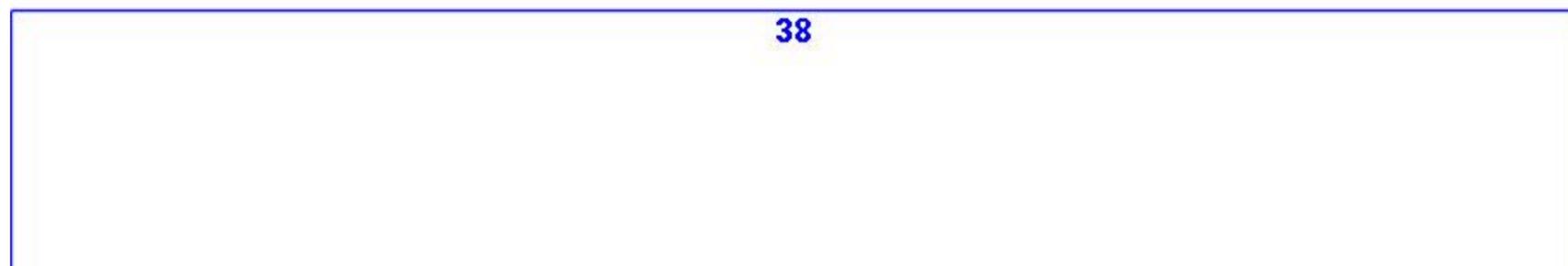
Land

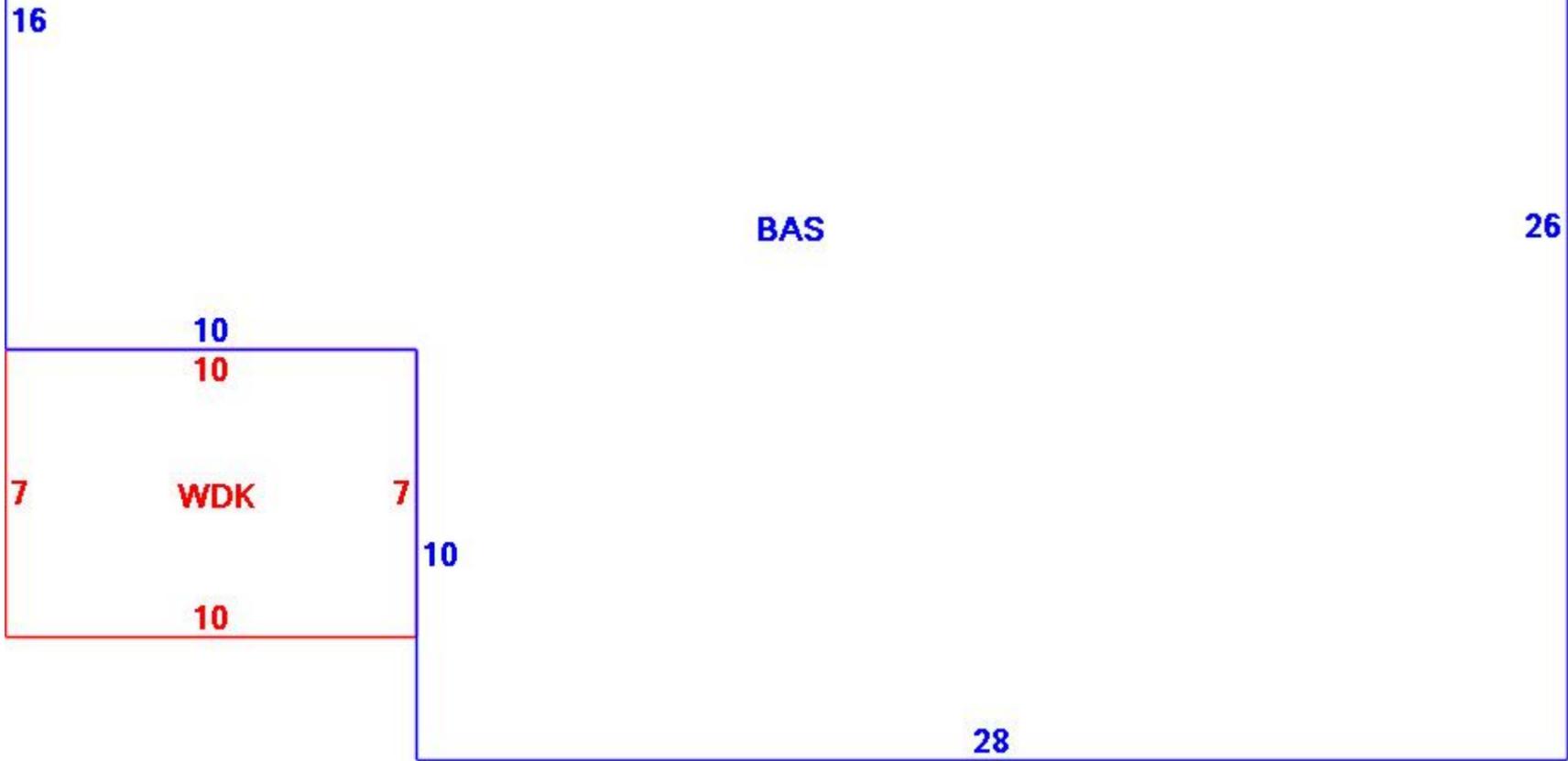
Acres 0.16	Use Single Fam M-01	Zoning RB	Neighborhood 0112
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Gas,Public Water,Public Sewer	Location factor	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1957	Roof structure Gable/Hip	Heat type Elec Baseboard
Living area 888	Roof cover Asph/F Gls/Cmp	Heat fuel Electric
Gross area 1022	Exterior wall Clapboard	AC type Central
Style Ranch	Interior wall Knotty Pine	Bedrooms 3 Bedrooms
Model Residential	Interior floor Hardwood	Bath rooms 1 Full-0 Half
Grade Below Average	Foundation	Total rooms 5 Rooms
Stories 1		





Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
10/10/2018	Insulation	18-3351	\$1,500	06/30/2019	Weatherization
01/16/2004	Repair Work	74188	\$8,000	03/31/2005	

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	11/18/2021	FARRELL, EILEEN M	C228296/0	\$735,000
2	04/27/2018	ELLE, DONNA TR	C216023/0	\$515,000
3	04/25/2008	LYTLE, ROBERT A & JUDITH P	C185763/0	\$448,000
4	11/03/2003	BASSETT, WAYNE D & EVELYN G	C171101/0	\$350,000
5	07/18/2003	MELCHIORRI, GALIANO L TR	C169872/0	\$1
6	08/15/1963	MELCHIORRI, GALIANO	C30963/0	\$0

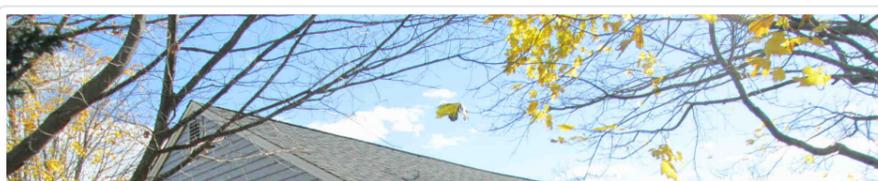
Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$132,900	\$0	\$1,100	\$409,900	\$543,900
2	2021	\$103,000	\$0	\$1,100	\$372,600	\$476,700
3	2020	\$91,900	\$0	\$1,000	\$372,600	\$465,500
4	2019	\$74,700	\$0	\$1,100	\$391,300	\$467,100
5	2018	\$58,700	\$0	\$1,200	\$372,600	\$432,500
6	2017	\$54,400	\$0	\$1,200	\$372,600	\$428,200
7	2016	\$54,400	\$0	\$600	\$395,200	\$450,200
8	2015	\$48,600	\$0	\$800	\$367,200	\$416,600
9	2014	\$48,600	\$0	\$800	\$367,200	\$416,600
10	2013	\$48,600	\$0	\$900	\$367,200	\$416,700
11	2012	\$48,600	\$0	\$700	\$367,200	\$416,500
12	2011	\$68,000	\$0	\$0	\$367,200	\$435,200
13	2010	\$67,900	\$0	\$0	\$367,200	\$435,100
14	2009	\$73,400	\$0	\$0	\$333,300	\$406,700
15	2008	\$85,400	\$0	\$0	\$340,300	\$425,700

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
17	2007	\$85,400	\$0	\$0	\$340,300	\$425,700
18	2006	\$81,100	\$0	\$0	\$320,500	\$401,600
19	2005	\$82,000	\$2,400	\$0	\$278,400	\$362,800
20	2004	\$65,800	\$2,400	\$0	\$278,400	\$346,600
21	2003	\$51,900	\$2,400	\$0	\$105,900	\$160,200
22	2002	\$51,900	\$2,400	\$0	\$105,900	\$160,200
23	2001	\$51,900	\$2,400	\$0	\$105,900	\$160,200
24	2000	\$37,900	\$2,200	\$0	\$72,600	\$112,700
25	1999	\$37,900	\$2,200	\$0	\$72,600	\$112,700
26	1998	\$37,900	\$2,200	\$0	\$72,600	\$112,700
27	1997	\$34,500	\$0	\$0	\$43,600	\$78,100
28	1996	\$34,500	\$0	\$0	\$43,600	\$78,100
29	1995	\$34,500	\$0	\$0	\$43,600	\$78,100
30	1994	\$36,200	\$0	\$0	\$34,000	\$70,200
31	1993	\$36,200	\$0	\$0	\$34,000	\$70,200
32	1992	\$41,200	\$0	\$0	\$37,800	\$79,000
33	1991	\$39,800	\$0	\$0	\$72,600	\$112,400
34	1990	\$39,800	\$0	\$0	\$72,600	\$112,400
35	1989	\$39,800	\$0	\$0	\$72,600	\$112,400
36	1988	\$35,300	\$0	\$0	\$38,700	\$74,000
37	1987	\$35,300	\$0	\$0	\$38,700	\$74,000
38	1986	\$35,300	\$0	\$0	\$38,700	\$74,000

Photos







© 2018 - Town of Barnstable - ParcelLookup

Property ID: 319003

GRUHN. MARTHA E  
34 SECOND WAY  
BARNSTABLE. MA 02630

Property ID: 319004

BASSETT. WAYNE D & EVELYN G TRS  
BASSETT REALTY TRUST  
PO BOX 221  
BARNSTABLE. MA 02630

Property ID: 319007

BASSETT. WAYNE D & EVELYN G TRS  
BASSETT REALTY TRUST  
PO BOX 221  
BARNSTABLE. MA 02630

Property ID: 319008

FARRELL. EILEEN M  
27 LAKEVILLE ROAD  
JAMAICA PLAIN. MA 02130

Property ID: 319009

MARK. ROGER G & DOROTHA A TRS  
MARK-BARNSTABLE REALTY TRUST  
125 PERKINS STREET  
JAMAICA PLAIN. MA 02130

Property ID: 319015

TELMAN. MARY CATHERINE & TIMOTHY TRS  
PO BOX 153  
BARNSTABLE. MA 02630



# Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

## APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:     New         Addition         Alteration
- 2. Type of Building:         House         Garage/barn     Shed     Commercial     Other
- 3. Exterior Painting, roof     new roof     color/material change, of trim, siding, window, door
- 4. Sign:                         New Sign     Existing Sign     Repainting Existing Sign
- 5. Structure:                 Fence     Wall         Flagpole     Retaining wall     Tennis court     Other
- 6. Pool                         Swimming         Other man-made pool     Solar panels         Other

Type or Print Legibly:        Date 01/03/2022

*NOTE: All applications must be signed by the current owner*

Owner (print): Barnstable Land Trust (Janet Milkman)    Telephone #: 508-771-2588

Address of Proposed Work: 1540 Main Street    Village W Barnstable    Map Lot # 197/015

Mailing Address (if different) \_\_\_\_\_

Owner's Signature \*Please see attached property consent form\*

**Description of Proposed Work:** Give particulars of work to be done: Installation of 16 flush roof mounted solar panels on front elevation. Panels will be all black and arranged in a solid block. 4 rows of 4 panels in landscape form. Panels will sit 4" above roof.

Agent or Contractor (print): Neal Holmgren/ Solar Rising LLC    Telephone #: 508-744-6284

Address: 348 Main Street Mashpee MA 02649    Email: info@solarrising.net

Contractor/Agent' signature: Neal Holmgren

*For committee use only*    **This Certificate is hereby APPROVED / DENIED**

Date \_\_\_\_\_ Members signatures \_\_\_\_\_

Conditions of approval \_\_\_\_\_

**CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies**

**Foundation** Type: (Max. 12" exposed) (material - brick/cement, other) \_\_\_\_\_

**Siding Type:** Clapboard \_\_\_ shingle \_\_\_ other \_\_\_\_\_  
Material: red cedar \_\_\_ white cedar \_\_\_ other \_\_\_\_\_ Color: \_\_\_\_\_

**Chimney** Material: \_\_\_\_\_ Color: \_\_\_\_\_

**Roof Material:** (make & style) \_\_\_\_\_ Color: \_\_\_\_\_

**Roof Pitch(s):** (7/12 minimum) \_\_\_\_\_ (specify on plans for new buildings, major additions)

**Window and door trim material:** wood \_\_\_\_\_ other material, specify \_\_\_\_\_

Size of cornerboards \_\_\_\_\_ size of casings (1 X 4 min.) \_\_\_\_\_ color \_\_\_\_\_

Rakes 1st member \_\_\_\_\_ 2<sup>nd</sup> member \_\_\_\_\_ Depth of overhang \_\_\_\_\_

**Window:** (make/model) \_\_\_\_\_ material \_\_\_\_\_ color \_\_\_\_\_  
(Provide window schedule on plan for new buildings, major additions)

**Window grills** (please check all that apply):  
true divided lights \_\_\_ exterior glued grills \_\_\_ grills between glass \_\_\_ removable interior \_\_\_ None \_\_\_

**Door** style and make: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_

**Garage Door,** Style \_\_\_\_\_ Size of opening \_\_\_\_\_ Material \_\_\_\_\_ Color \_\_\_\_\_

**Shutter** Type/Style/Material: \_\_\_\_\_ Color: \_\_\_\_\_

**Gutter** Type/Material: \_\_\_\_\_ Color: \_\_\_\_\_

**Deck** material: wood \_\_\_\_\_ other material, specify \_\_\_\_\_ Color: \_\_\_\_\_

**Skylight,** type/make/model/: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_ Size: \_\_\_\_\_

**Sign** size: \_\_\_\_\_ Type/Materials: \_\_\_\_\_ Color: \_\_\_\_\_

**Fence** Type (max 6' ) Style \_\_\_\_\_ material: \_\_\_\_\_ Color: \_\_\_\_\_

**Retaining wall:** Material: \_\_\_\_\_

**Lighting,** freestanding \_\_\_\_\_ on building \_\_\_\_\_ illuminating sign \_\_\_\_\_

**OTHER INFORMATION:** Solid black panels with black frame. \_\_\_\_\_

**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

**Signed:** (plan preparer) Neal Holmgren Print Name Neal Holmgren

**Town of Barnstable, Old Kings Highway Historic District Committee**

**CHECKLIST -- CERTIFICATE OF APPROPRIATENESS**

*Please check the applicable categories; This check list must be completed and submitted with your application.*

**1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)**

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 4 copies; brochures and color samples.
- Plans of building elevations/photographs, 5 copies, **ONLY** if there is a change to the location and size of the window (s) or door (s)

**2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)**

- Application for Certificate of Appropriateness**, 5 copies.
- Spec Sheet**, 5 copies; brochures and color samples.
- Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- Photographs** of all building elevation affected by any proposed alterations.
- Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper  
Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

**3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)**

- Application for Certificate of Appropriateness**
- Spec Sheet**, brochures or diagram.
- Site plan**, see Instructions 2. Site Plan, above.
- Photographs** of any existing structure that will be affected by change.

**4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING**

- Application for Certificate of Appropriateness** (5 copies).
- Spec Sheet**, 5 copies, brochures and samples of colors.
- Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5”X11 or 11X17 paper  
**Site Plans shall contain the following:**
  - Name of applicant, street location, map and parcel.
  - Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - North arrow, written and drawn scale.
  - Changes to existing grades shown with one-foot contours.
  - Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - Proposed driveway location.
  - Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)
- Building Elevations:**
  - 5 copies of plans at a scale of 1/4” = 1 foot; a written and drawn scale.
  - 5 copies of plans at a reduced scale to fit 8.5”x 11 or 11 x 17 paper.

**4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED**

**Plans shall include the following:**

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
  - Name of applicant, street address, assessor’s map and parcel number.  
Name address and telephone number of the plan preparer, plan date, & dates of revisions
  - The location of existing and proposed buildings and structures, and lot lines.
  - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
  - Existing buffer areas to remain.
  - Location and species of trees outside of buffer areas greater than 12” caliper to be retained or removed.
  - The location, number, size and name of proposed new trees and plants.
  - Driveway, parking areas, walkways, and patios indicating materials to be used.
  - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
  - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties**, (1 copy only)  
A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings** to remain, or being added to .

**Please complete the following:**

**Existing building, foot print:**

Building 1 \_\_\_\_\_ sq. ft. Building 2 \_\_\_\_\_

**Existing Building, gross floor area, including area of finished basement:**

Building 1 \_\_\_\_\_ sq. ft. Building 2 \_\_\_\_\_

**New building or addition, foot print:**

Building 1 \_\_\_\_\_ sq. ft. Building 2 \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement:**

Building 1 \_\_\_\_\_ sq. ft. Building 2 \_\_\_\_\_

**5. SIGNS**

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

**6. SOLAR PANELS**

- ✗ Drawing of location of panels on house showing roof and panel dimensions.
- ✗ Site plan showing location of building on property. (Assessors map may be submitted)
- ✗ Height of solar panel above the roof.
- ✗ Color of panels
- ✗ Finish (matt or glossy)

**7. FEES**

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification  
*Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.*
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King’s Highway Office

**SIGNED** (plan preparer) \_\_\_\_\_ Print \_\_\_\_\_

Date: \_\_\_\_\_ Tel. Phone no’s: \_\_\_\_\_  
Email \_\_\_\_\_

**NOTE:** *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

**ATTENDANCE AT MEETINGS:** *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

**APPEAL PERIOD**

**APPROVED PLANS**

**PLAN PICK UP**

**There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk.** This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King’s Highway Committee. Plans approved by the Old King’s Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day “wait” period. If the 14<sup>th</sup> day falls on a Saturday, your plans will be available the afternoon of the following business day.

**DENIALS**

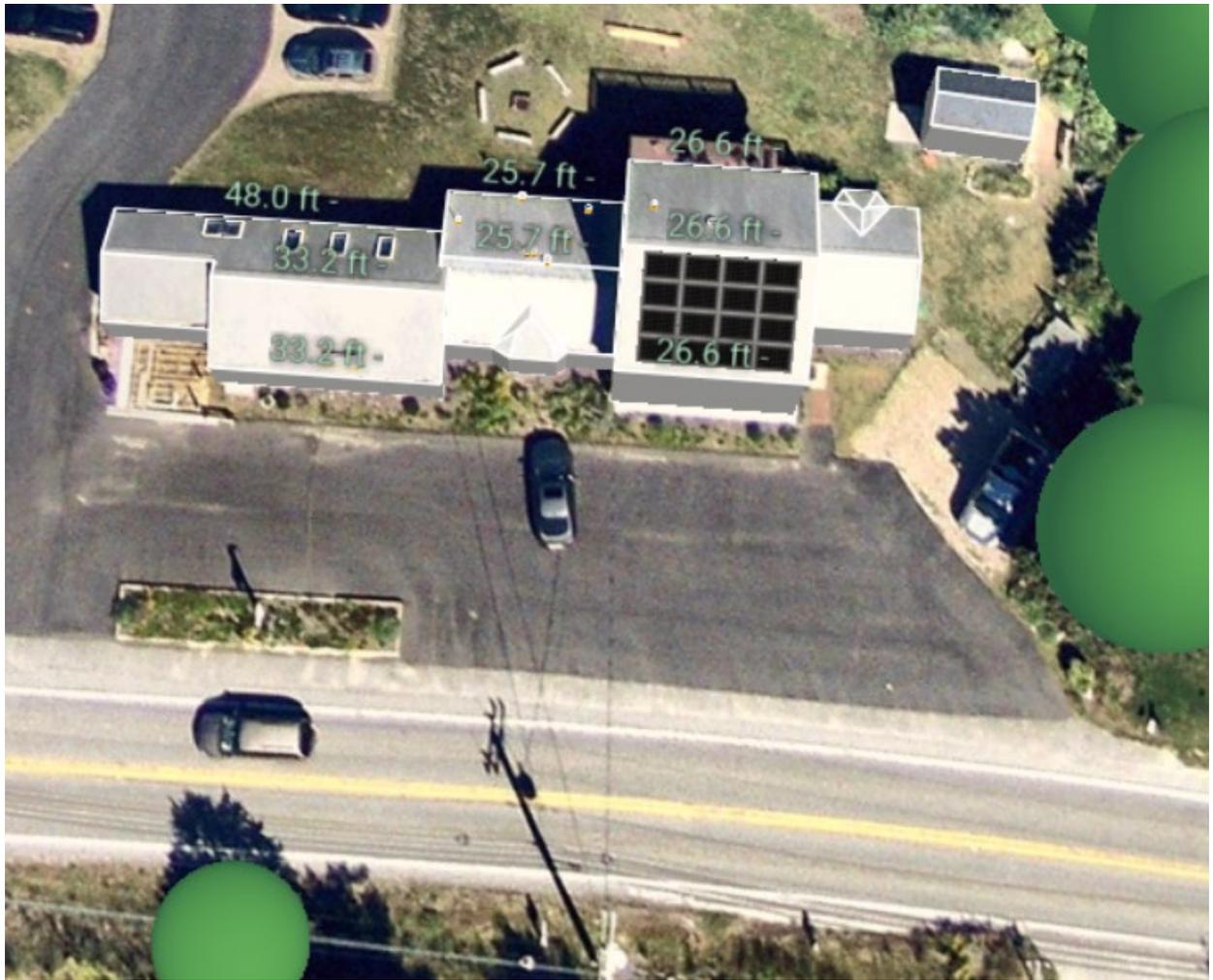
Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

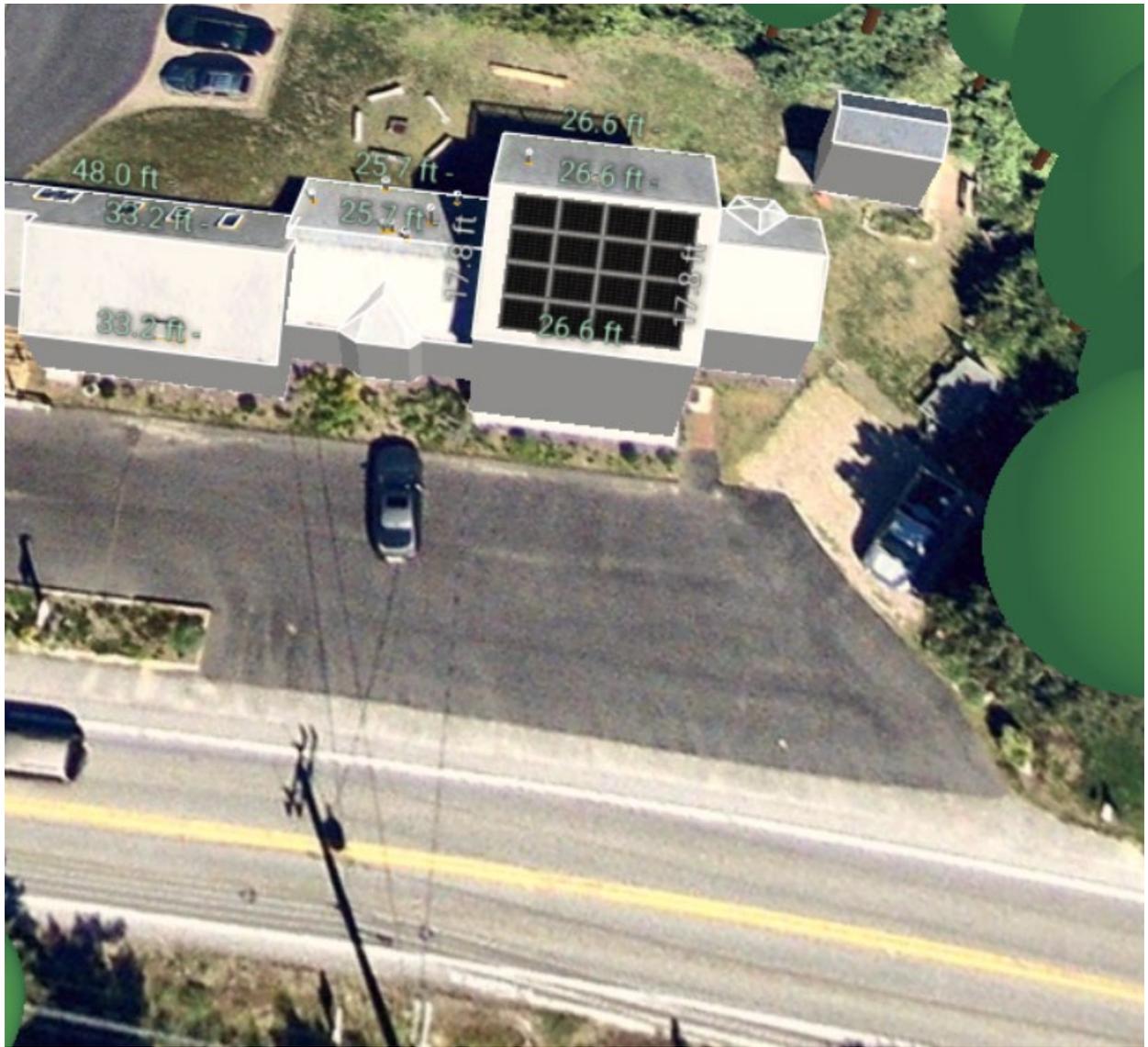
**BUILDING PERMITS, OTHER AGENCY CONTACTS**

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

*All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.*

**QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787**







1.8.2019

Panels will be installed on this roof and will be visible from the street.





### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 1/3/2022



Approx. Scale: 1 inch = 83 feet



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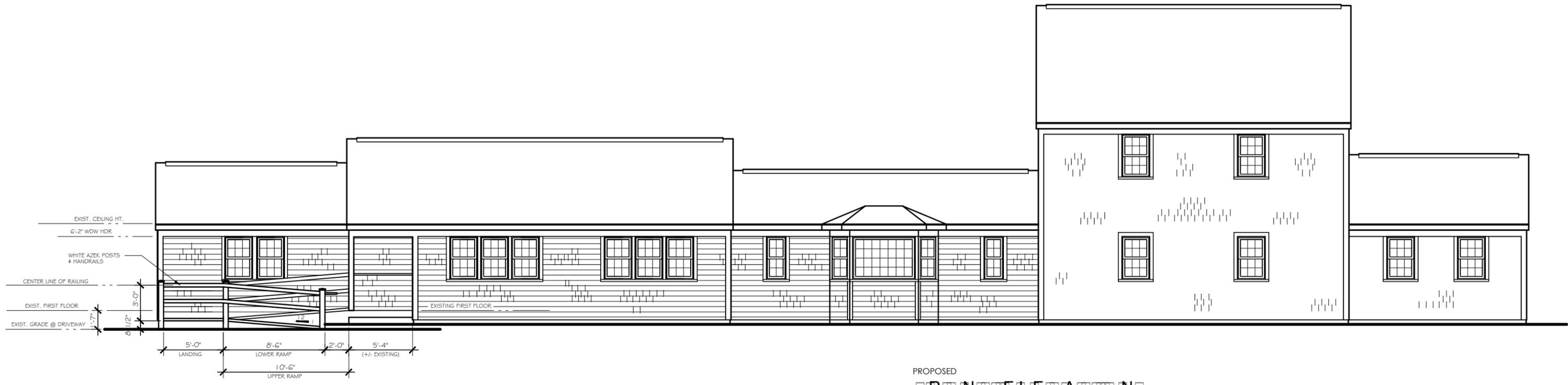


**Town of Barnstable GIS Unit**

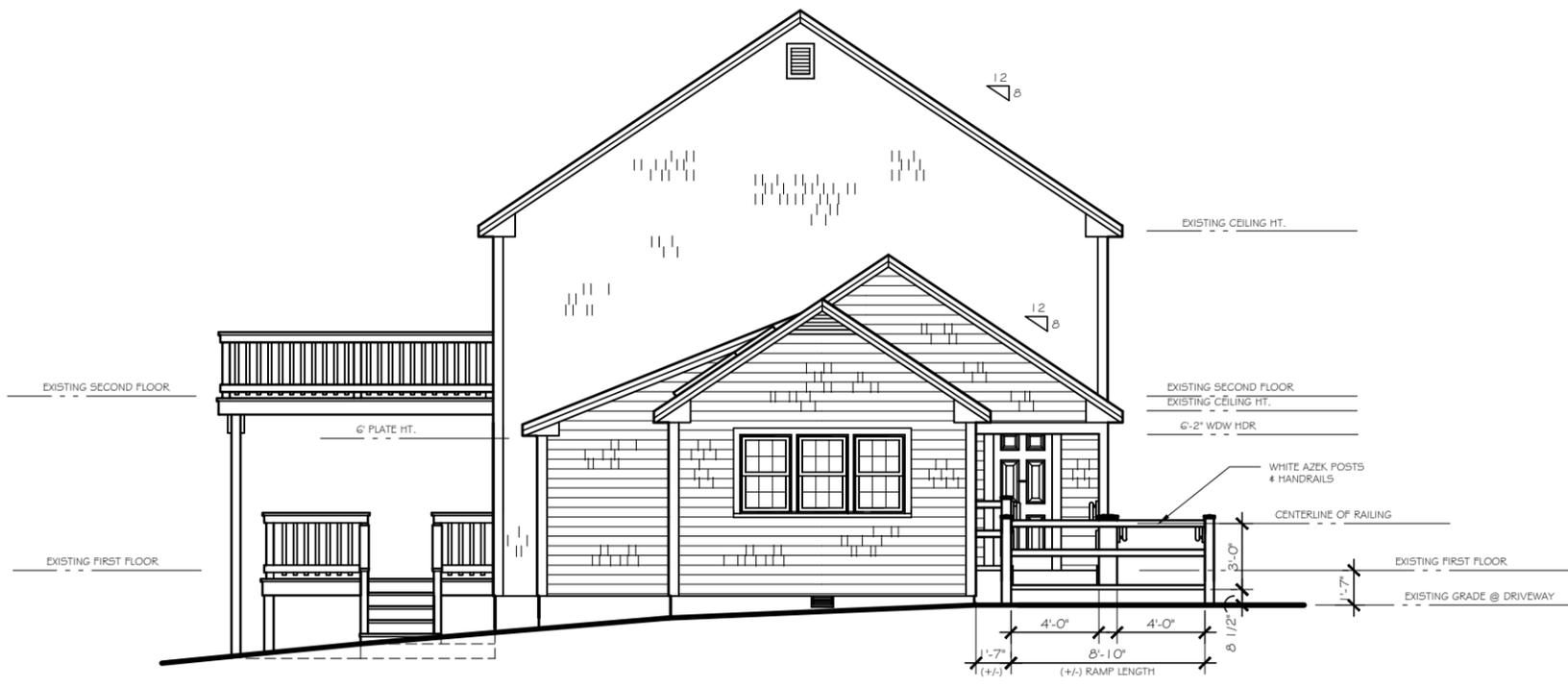
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



PROPOSED  
 RAMP ELEVATION  
 1/8" = 1'-0"



PROPOSED  
 LEVEL ELEVATION  
 1/8" = 1'-0"

<b>BARNSTABLE LAND TRUST</b> 1540 MAIN STREET, WEST BARNSTABLE, MA	
ARCHITECTURAL INNOVATIONS <small>A DIVISION OF AI ENTERPRISES, INC.</small> P.O. BOX 2056, COTUIT, MA 02635	(508) 428-4219 FAX (508) 428-4295
	DATE: 02-21 SCALE: AS SHOWN DRAWING:
A2 - 3	



### Solaria PowerXT®-400R-PM

Achieving over 20% efficiency, Solaria PowerXT solar panels are one of the highest power panels in the residential and commercial solar market. Compared to conventional panels, Solaria PowerXT panels have fewer gaps between the solar cells; this leads to higher power and superior aesthetics. Solaria PowerXT Pure Black™ panels are manufactured with black backsheet and frames, enhancing a home or building's architectural beauty.

#### Higher Efficiency, Higher Power

Solaria PowerXT panels achieve over 20% efficiency; conventional panels achieve 15% – 17% efficiency. Solaria PowerXT panels are one of the highest power panels available.

#### Lower System Costs

Solaria PowerXT panels produce more power per square meter area. This reduces installation costs due to fewer balance of system components.

#### Improved Shading Tolerance

Sub-strings are interconnected in parallel, within each of the four panel quadrants, which dramatically lowers the shading losses and boosts energy yield.

#### Improved Aesthetics

Compared to conventional panels, Solaria PowerXT panels have a more uniform appearance and superior aesthetics.

#### Durability and Reliability

Solder-less cell interconnections are highly reliable and designed to far exceed the industry leading 25 year warranty.

#### PID Resistant

Solaria PowerXT panels are PID resistant. This insures stable and predictable energy production over time.

#### About Solaria

Established in 2000, The Solaria Corporation has created one of the industry's most respected IP portfolios, with over 250 issued and pending patents in PV solar cell and module technology. Headquartered in Fremont, California, Solaria has developed a technology platform that unlocks the potential of solar energy.



## Performance at STC (1000W/m<sup>2</sup>, 25° C, AM 1.5)

Solaria PowerXT-		400R-PM
Max Power (P <sub>max</sub> )	[W]	400
Efficiency	[%]	20.2
Open Circuit Voltage (V <sub>oc</sub> )	[V]	51.1
Short Circuit Current (I <sub>sc</sub> )	[A]	9.82
Max Power Voltage (V <sub>mp</sub> )	[V]	42.4
Max Power Current (I <sub>mp</sub> )	[A]	9.41
Power Tolerance	[%]	-0/+3

## Performance at NOCT (800W/m<sup>2</sup>, 20° C Amb, Wind 1 m/s, AM 1.5)

Max Power (P <sub>max</sub> )	[W]	295
Open Circuit Voltage (V <sub>oc</sub> )	[V]	48.1
Short Circuit Current (I <sub>sc</sub> )	[A]	7.92
Max Power Voltage (V <sub>mp</sub> )	[V]	40.0
Max Power Current (I <sub>mp</sub> )	[A]	7.59

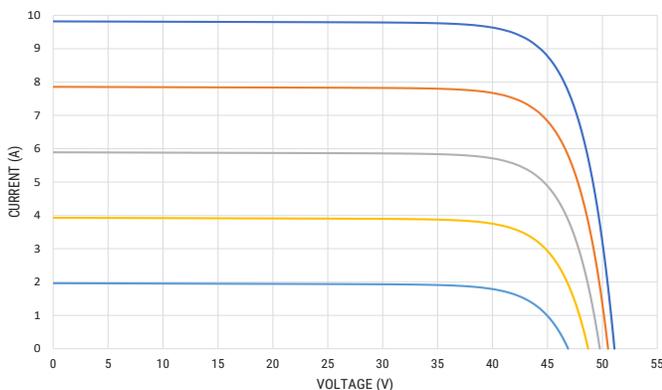
## Temperature Characteristics

NOCT	[°C]	45 +/-2
Temp. Coeff. of P <sub>max</sub>	[% / °C]	-0.39
Temp. Coeff. of V <sub>oc</sub>	[% / °C]	-0.29
Temp. Coeff. of I <sub>sc</sub>	[% / °C]	0.04

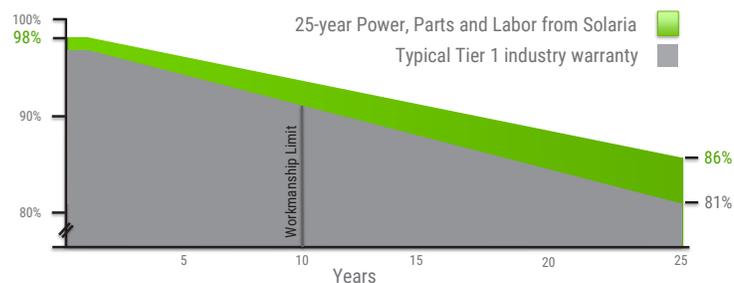
## Design Parameters

Operating temperature	[°C]	-40 to +85
Max System Voltage	[V]	1000
Max Fuse Rating	[A]	20
Bypass Diodes	[#]	4

## IV Curves vs. Irradiance (400W Panel)



## Comprehensive 25-Year Warranty



## Mechanical Characteristics

Cell Type	Monocrystalline Silicon
Dimensions (L x W x H)	64.72" x 47.4" x 1.57"
	1644mm x 1204mm x 40mm
Weight	21 kg / 46 lbs
Glass Type / Thickness	AR Coated, Tempered / 2.84mm
Frame Type	Black Anodized Aluminum
Cable Type / Length	12 AWG PV Wire (UL) / 1000mm
Connector Type	MC4
Junction Box	IP68 / 4 diodes
Front Load	5400 Pa / 113 psf*
Rear Load	3600 Pa / 75 psf*

\* Refer to Solaria Installation Manual for details

## Certifications / Warranty

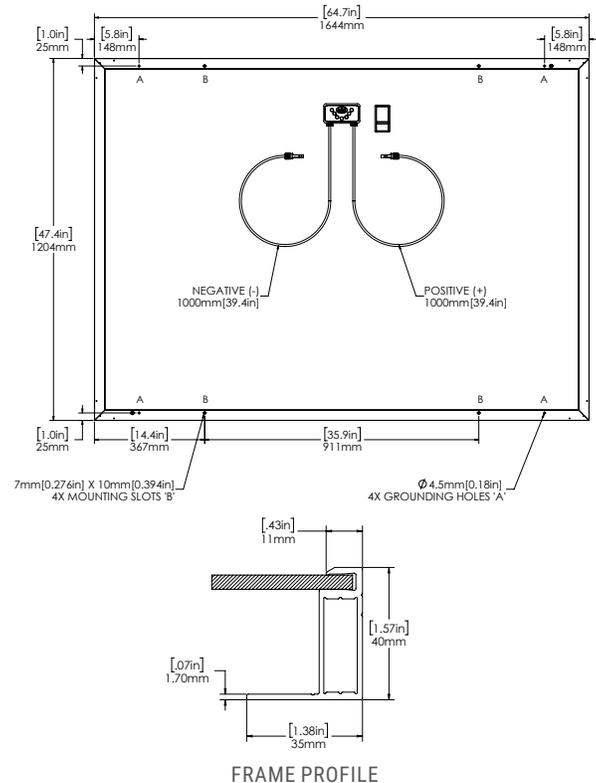
Certifications	UL 61730 / IEC 61215 / IEC 61730 CEC & FSEC Listed
----------------	---

Fire Type (UL 1703)	1
Warranty	25 years*

\* Warranty details at [www.solaria.com](http://www.solaria.com)

## Packaging

Stacking Method	Horizontal / Palletized
Panels/ Pallet	25
Pallet Dims (L x W x H)	66.57" x 48.7" x 48.4"
	1720mm x 1260mm x 1235mm
Pallet Weight	575kg / 1268 lbs
Pallets / 40-ft Container	18
Panels / 40-ft Container	450





***Property Owner Consent Form***

Owner: Barnstable Land Trust (Janet Milkman)

Address: 1540 Main Street

Town: W Barnstable

State: MA

Zip: 02668

Phone: 508-771-2585

I hereby give permission to **Solar Rising llc.** and their representatives to pull the required permits for a solar installation on my property.

DocuSigned by:

*Janet Milkman*

8B8A826B4C4C460...

Property Owner

1/3/2022

Date

*Neal Holmgren*

Solar Rising

01/03/2022

Date



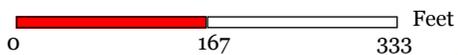


### Legend

Road Names



Map printed on: 2/4/2022



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

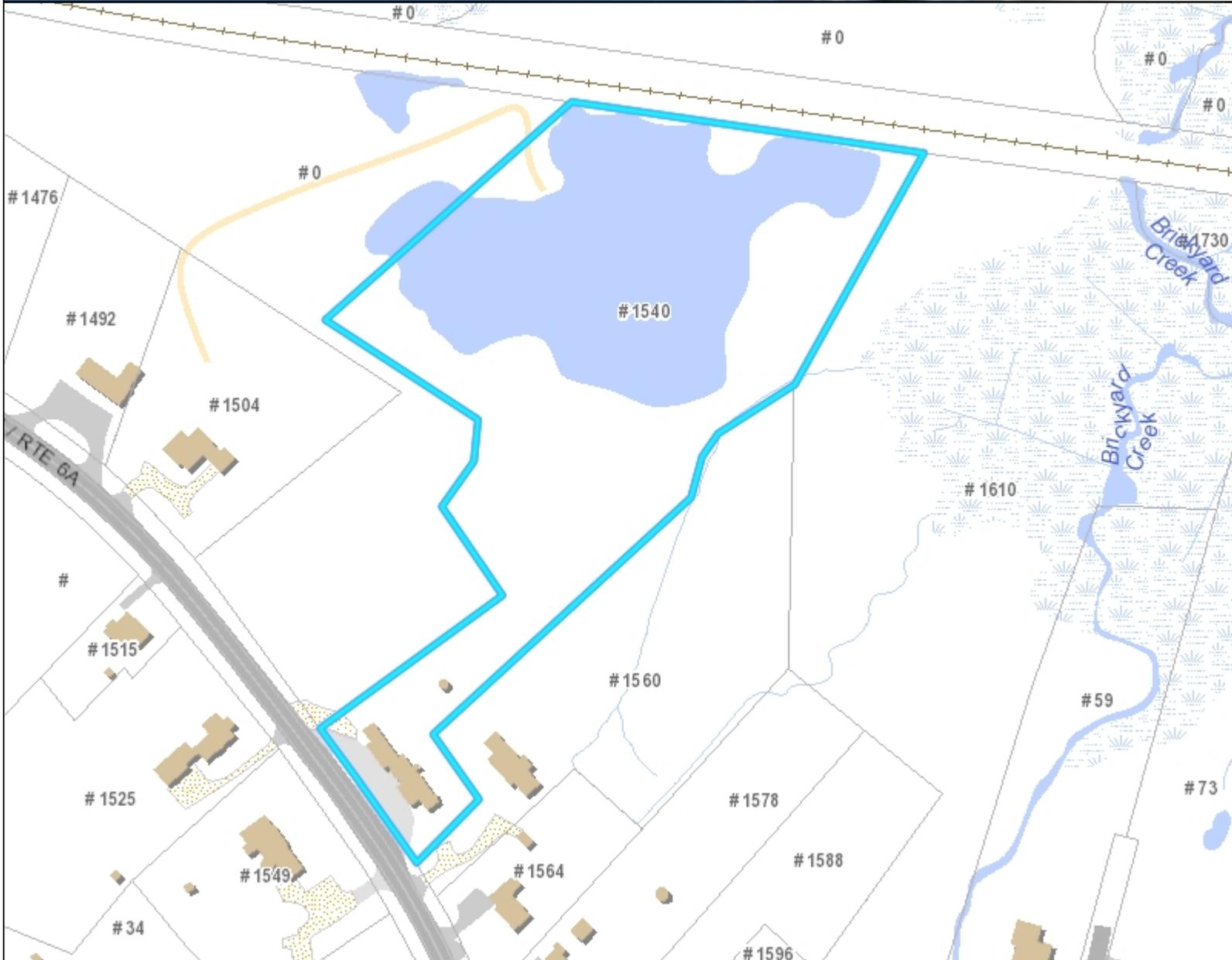


**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



**Legend**

- Parcels
- ==== Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- ▨ Marsh
- Water Bodies

Map printed on: 2/4/2022



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



### Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
05/12/2021	Deck	BLDR-21-412	\$5,000		Building handicap ramp.
07/29/2020	Insulation	20-1986	\$13,000		Weatherization
03/23/2020	Sid/Wind/Roof/Door	20-63	\$7,500		Replace 10 window units
09/22/2017	Alt-Int work-Comm	17-3037	\$0		Tenant Fit-out for Barnstable land Trust no construction
03/28/2002	New Siding	60368	\$0	01/01/2003	
07/06/1998	Addition	31934	\$9,000	01/01/1999	
02/01/1988	Remodel	B31623	\$8,500	01/15/1989	WB REMOD'

### Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	03/29/2018	BARNSTABLE LAND TRUST INC	31167/0302	\$420,000
2	11/27/2013	1540 MAIN STREET LLC	27851/0057	\$1
3	10/15/2013	POGORELC, DAVID	27757/0240	\$1
4	12/28/2012	1540 MAIN STREET LLC	26994/0127	\$750,000
5	10/15/1987	POGORELC, ROBERT L & BARBARA	5989/0318	\$440,000
6	12/15/1983	COPPER POT INC THE	3948/0346	\$0

### Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$311,100	\$0	\$8,600	\$217,000	\$536,700
2	2021	\$311,100	\$0	\$8,600	\$217,000	\$536,700
3	2020	\$252,300	\$1,400	\$9,400	\$225,200	\$488,300
4	2019	\$252,300	\$1,800	\$7,700	\$225,200	\$487,000
5	2018	\$254,700	\$1,800	\$8,100	\$198,300	\$462,900
6	2017	\$246,700	\$1,800	\$8,200	\$198,300	\$455,000
7	2016	\$246,700	\$1,800	\$8,200	\$198,300	\$455,000
8	2015	\$273,400	\$1,600	\$9,100	\$171,700	\$455,800
9	2014	\$273,400	\$1,600	\$9,400	\$237,400	\$521,800
10	2013	\$236,400	\$12,200	\$9,900	\$258,200	\$516,700
11	2012	\$233,600	\$12,100	\$8,700	\$253,400	\$507,800
12	2011	\$244,800	\$0	\$0	\$981,000	\$1,225,800
13	2010	\$244,800	\$0	\$0	\$311,500	\$556,300
14	2009	\$251,900	\$0	\$0	\$300,800	\$552,700
15	2008	\$251,900	\$0	\$0	\$300,800	\$552,700
17	2007	\$251,900	\$0	\$0	\$300,800	\$552,700
18	2006	\$241,400	\$0	\$0	\$292,700	\$534,100
19	2005	\$207,100	\$0	\$0	\$313,700	\$520,800
20	2004	\$177,200	\$0	\$0	\$235,300	\$412,500
21	2003	\$142,200	\$0	\$0	\$367,400	\$509,600
22	2002	\$142,200	\$0	\$0	\$367,400	\$509,600
23	2001	\$155,900	\$0	\$0	\$718,600	\$874,500
24	2000	\$126,900	\$0	\$0	\$262,400	\$389,300
25	1999	\$123,500	\$0	\$0	\$262,400	\$385,900
26	1998	\$123,500	\$0	\$0	\$260,200	\$383,700
27	1997	\$103,800	\$0	\$0	\$108,200	\$212,000

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
28	1996	\$103,800	\$0	\$0	\$108,200	\$212,000
29	1995	\$103,800	\$0	\$0	\$108,200	\$212,000
30	1994	\$113,900	\$0	\$0	\$147,400	\$261,300
31	1993	\$113,900	\$0	\$0	\$147,400	\$261,300
32	1992	\$128,400	\$0	\$0	\$163,200	\$291,600
33	1991	\$143,500	\$0	\$0	\$232,500	\$376,000
34	1990	\$143,500	\$0	\$0	\$232,500	\$376,000
35	1989	\$143,500	\$0	\$0	\$264,300	\$407,800
36	1988	\$101,400	\$0	\$0	\$142,400	\$243,800
37	1987	\$101,400	\$0	\$0	\$142,400	\$243,800
38	1986	\$101,400	\$0	\$0	\$142,400	\$243,800

Photos







Property ID: 197007

JORDAN, KIMBERLY & SALAZAR, DEBORAH  
1549 MAIN ST  
WEST BARNSTABLE, MA 02668

Property ID: 197015

BARNSTABLE LAND TRUST INC  
1540 MAIN STREET  
WEST BARNSTABLE, MA 02668

Property ID: 197015001

BARNSTABLE LAND TRUST INC  
1540 MAIN STREET  
WEST BARNSTABLE, MA 02668

Property ID: 197016

ORENDA WILDLIFE LAND TRUST, INC  
PO BOX 669  
WEST BARNSTABLE, MA 02668

Property ID: 197017

WHITTLESEY, LINDA B & MEGAN BONNEVIE  
LINDA B WHITTLESEY REALTY TRUST  
1560 MAIN ST./RTE 6A  
WEST BARNSTABLE, MA 02668

Property ID: 197023

RULE, LISA J  
651 BOYLSTON ST. UNIT 4  
BOSTON, MA 02116



**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
 Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 1/13/2022 **Map & Parcel** 335-051

**Property Owner** Courtney Johnson Phone 912-677-0948

Street address 3915 Main Street Email \_\_\_\_\_

Village Cummaquid

Mailing address Po Box 33 Cummaquid, MA 02637 Signature *Courtney Johnson*

**Agent/Contractor** Paul Callanan Phone 781-364-4889

Agent Address \_\_\_\_\_ Email paulc@whitmanhomes.com

Agent Signature \_\_\_\_\_

**If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.**

**There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.**

	<input type="checkbox"/> New Build	<input type="checkbox"/> Additi	<b>Check all categories that apply</b>	<input type="checkbox"/> Residential	<input type="checkbox"/> Commercial
<b>Building Construction</b>					
<b>Type of Building</b>	<input checked="" type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Other
<b>Project</b>	<input type="checkbox"/> Roof	<input checked="" type="checkbox"/> Windows/Doors	<input type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input type="checkbox"/> Other
<b>Landscape Feature</b>	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other _____
<b>Signs</b>	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other _____	

**Description of Proposed Work** Replace 11 old, single paned windows with new Anderson 400 wood windows

**DENIED**

	<p><i>for Committee use only</i> <span style="background-color: yellow;"><b>This Certificate is hereby</b></span> <b>APPROVED</b></p> <p>By a vote of <u>    </u> Aye <u>    </u> Nay <u>    </u> Abstain <u>    </u> Date <u>    </u></p> <p><i>Members signatures</i></p> <p>_____</p> <p>_____</p> <p><b>Conditions of Approval</b></p> <p>_____</p>
--	---

# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY**

Material  Color

**ROOF**

Make & style  Color

Roof Pitch (s) – (7/12 minimum)   
*(specify on plans for new building & major additions)*

**GUTTER**

Type/Material  Color

**WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS**

Window/Door Trim material Wood  Other specify

Size of cornerboards  Size of casings (1X4 min)  Color

Rakes 1<sup>st</sup> member  2<sup>nd</sup> Member  Depth of overhang

Windows: Make/Model  Anderson 400 Material  Wood Color  Black

Window Grills Divided Light  Exterior Glued Grills  Grills Between Glass

Removable Interior Grills  No Grills  Grill Pattern  Colonial

Doors: Style & Make  Material  Color

Garage doors: Style  Size of opening  Material

Color

Shutters: Type & Style  Material  Color

Skylights: Type  Make & Model

Material  Size  Color

**SIDING**

Type Clapboard  Shingle  Other

Material Red Cedar  White Cedar  Other

Paint Color

**FOUNDATION**

Type  *(max 12' exposed)*

**DECK**

Material  Color

**SIGNS**

Size  Materials  Color

**FENCE**

Type  (split rail, chain link) Color

Material  Length

**RETAING WALL**

Description

**LIGHTING**

Type and location (free standing affixed to structure, illuminated)

# CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

**Submit six (6) complete colored sets, unless otherwise noted**

## **FEES**

- .... **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- .... **Legal Ad fee**, in the amount of **\$19.84**, made payable to the Town of Barnstable
- .... **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

## **ALTERATIONS** *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures and color samples
- .... Plans of building elevations/photographs, **ONLY** if there is a change to the location and size of the window (s) or Door (s).

## **MINOR ADDITIONS** *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... **Application for Certificate of Appropriateness**,
- .... **Spec Sheet**, brochures and color samples
- .... **Site Plan**, **ONLY** if there are changes to the footprint *(see site plan criteria below)*  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... **Photographs** of all building elevation affected by any proposed alterations
- .... **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper  
Company brochure of manufacturers shed or to-scale sketch **or** affected structure or building elevations

## **ASSESSORY STRUCTURES, NEW/ALTERED** *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures &/or diagram
- .... **Site Plan** *(see site plan criteria below)*
- .... **Photographs** of any existing structure that will be affected by the change

## **SIGNS** *(complete sign supplement)*

- .... **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

## **SOLAR PANELS** *(complete solar panel supplement)*

- .... **Drawing** of locations of panels on house showing roof and panel dimensions
- .... **Site Plan** showing location of building on property *(see site plan criteria below)*

## **SITE PLAN CRITERIA**

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

**Submit Six (6) complete colored sets, unless otherwise noted**

..... **Application for Certificate of Appropriateness**

..... **Spec Sheet**, brochures or diagram

..... **Site Plan**

- ..... Name of applicant, street location, map and parcel
- ..... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ..... North arrow, written and drawn to scale
- ..... Changes to existing grades shown with one-foot contours
- ..... Proposed & existing footprint of building and/or structures, and distance to lot lines
- ..... Proposed driveway location
- ..... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ..... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

..... **Building Elevations**

- ..... Plans at scale of 1/4" = 1 foot; a written drawn scale
- ..... Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
- ..... Name of applicant, street location, map and parcel
- ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ..... A written and bar drawn scale
- ..... Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ..... Window schedule on plans

..... **Landscape Plan** (drawn on a certified perimeter plan containing the following)

- ..... Name of applicant, street address, assessor's map and parcel number
- ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ..... The location of existing and proposed buildings and structures, and lot lines
- ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ..... Existing buffer areas to remain
- ..... Location and species of trees and plants
- ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
- ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
*For removal of stone walls, you must file a demolition application*
- ..... All proposed exterior lighting and signs

..... **Sketch or Photos of adjacent properties**

- ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,
- ..... Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
*Please discuss with staff if you do not think this is relevant to your application.*

..... **Photographs of all sides of existing buildings** to remain or being added to

**Existing building, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Existing building, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Plan preparer, signature and date**

--	--

# SOLAR PANEL SUPPLEMENT

## STRUCTURE ONE

### STRUCTURE TYPE

Home

Garage

Barn

### ELEVATION PLACEMENT

North

South

East

West

### ROOF MEASUREMENTS

Length

Height

Pitch

### SOLAR PANEL MEASUREMENTS

Length

Depth

Width

### SOLAR PANEL TYPE & FINISH

Color

Finish (matte or glossy)

## STRUCTURE TWO

### STRUCTURE TYPE

Home

Garage

Barn

### ELEVATION PLACEMENT

North

South

East

West

### ROOF MEASUREMENTS

Length

Height

Pitch

### SOLAR PANEL MEASUREMENTS

Length

Depth

Width

### SOLAR PANEL TYPE & FINISH

Type

Roof Mounted

Ground Mounted

Canopy/Carport System

Color

Finish (matte or glossy)

Solar Company

Phone

Solar representative

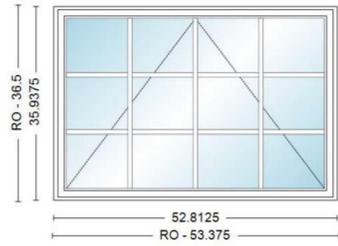
Print Name

Signature

Date



Kitchen



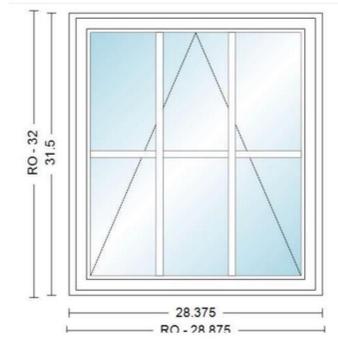
**Item**  
**400**  
**RO Size = 53 3/8"**

AXW451, Unit, 40  
Pane Low-E4 Star  
Black, Pine w/Whi

Hardware: PSA T  
Insect Screen 1: 4

Unit #	U-Factor	SHGC
A1	0.29	0.29

Bathroom



**Item**  
**500**  
**RO Size = 28 7/8"**

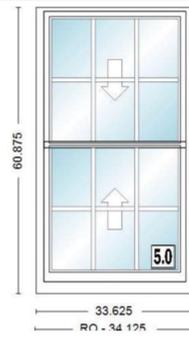
AX251, Unit, 400  
Pane Low-E4 Star  
w/White, 3/4" Grille

Hardware: PSA T  
Insect Screen 1: 4

Unit #	U-Factor	SHGC
A1	0.29	0.29

Living Room

x2



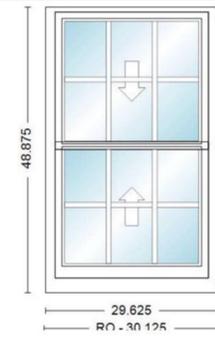
**Item**  
**600**  
**RO Size = 34 1/8"**

TW28410, Unit, 40  
w/White - Painted  
Divided Light (FDL  
Glass / Grille Spa

Insect Screen 1: 4

Unit #	U-Factor	SHGC
A1	0.3	0.28

Bedroom



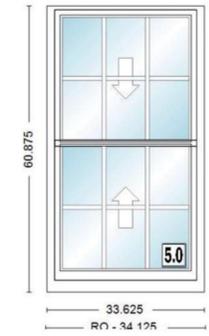
**Item**  
**800**  
**RO Size = 30 1/8"**

TW24310, Unit, 40  
w/White - Painted  
Divided Light (FDL  
Glass / Grille Spa

Insect Screen 1: 4

Unit #	U-Factor	SHGC
A1	0.3	0.28

x2



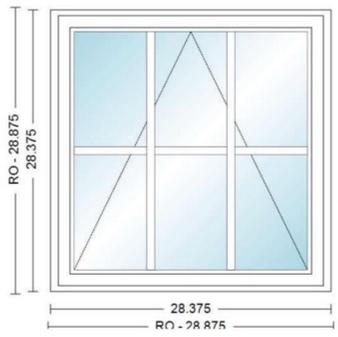
**Item**  
**900**  
**RO Size = 34 1/8"**

TW28410, Unit, 40  
w/White - Painted  
Divided Light (FDL  
Glass / Grille Spa

Insect Screen 1: 4

Unit #	U-Factor	SHGC
A1	0.3	0.28

Laundry Room



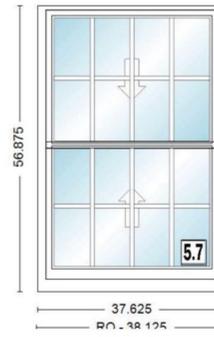
**Item**  
**300**  
**Qty**  
**1**  
**RO Size = 28 7/8"**

AW251, Unit, 400 Ser  
Pane Low-E4 Standar  
w/White, 3/4" Grille B

Hardware: PSA Trad  
Insect Screen 1: 400

Unit #	U-Factor	SHGC
A1	0.29	0.29

Bedroom



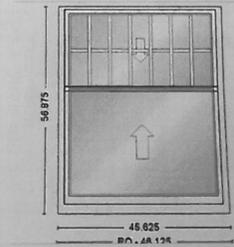
**Item**  
**1000**  
**RO Size = 38 1/8"**

TW3046, Unit, 400  
w/White - Painted  
Divided Light (FDL  
Glass / Grille Spa

Insect Screen 1: 4

Unit #	U-Factor	SHGC
A1	0.3	0.28

Dining room



**Item**  
**200**  
**RO Siz**

TW3846C  
w/White -  
Divided L  
Grille Spa

Insect S

Unit #	U-Factor	SHGC
A1	0.3	0.28



### Legend

Road Names



Map printed on: 2/4/2022



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

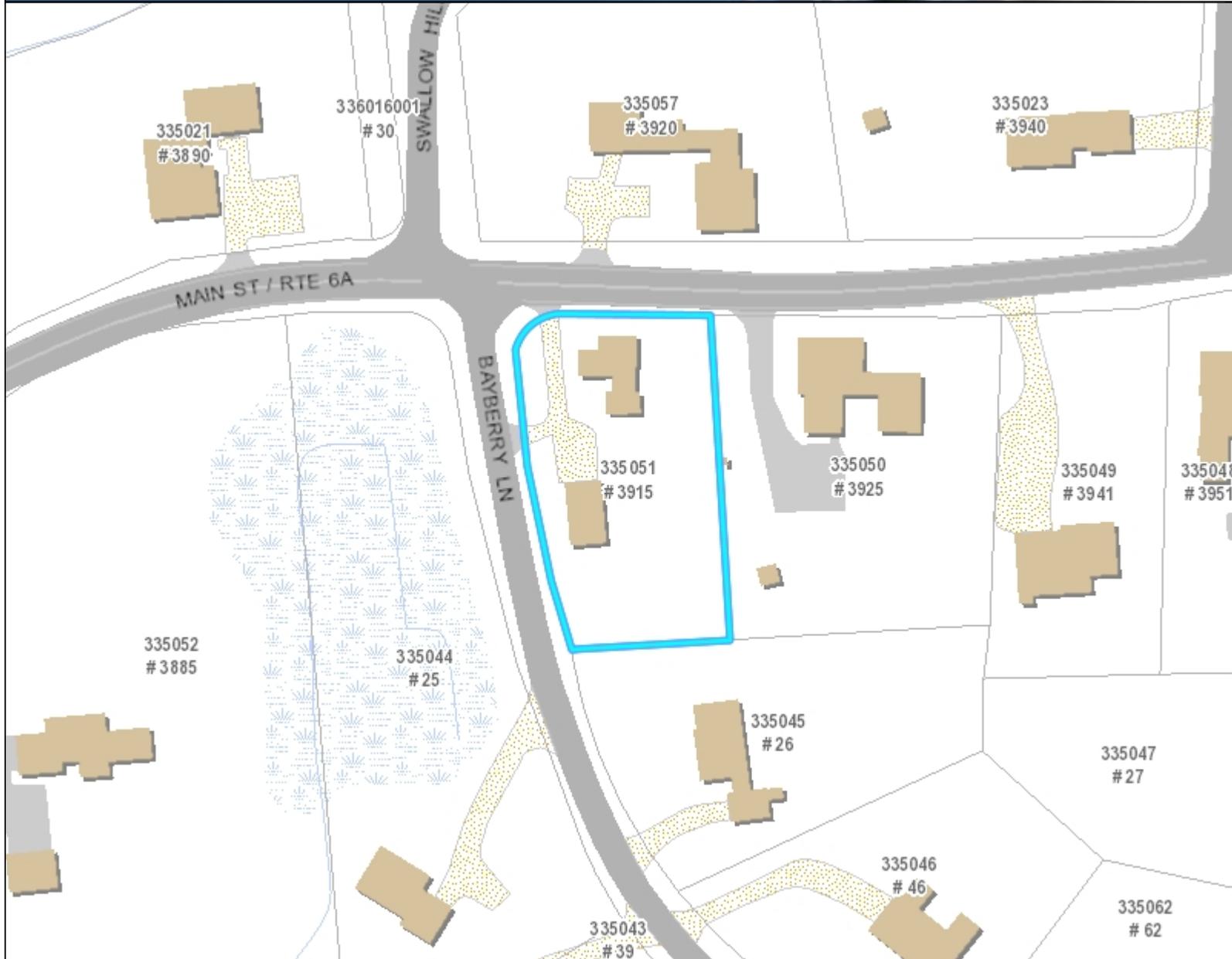


**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

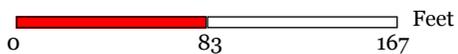
[gis@town.barnstable.ma.us](mailto:gis@town.barnstable.ma.us)



### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- ▨ Marsh
- Water Bodies

Map printed on: 2/4/2022



Approx. Scale: 1 inch = 83 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 335-051 Location: 3915 MAIN ST./RTE 6A(BARN.), Barnstable Owner: JOHNSON, NICHOLAS M & COURTNEY C



Parcel 335-051  
Location 3915 MAIN ST./RTE 6A(BARN.)  
Village Barnstable  
Town sewer account No

Developer lot:  
Road type Town & State  
Fire district Barnstable  
Property Record Card  
[Property Record Card PDF File](#)

Secondary road BAYBERRY LANE  
Road index 0949  
Interactive map

CWMP Sewer Expansion (subject to change with final engineering design)  
None planned at this time

Asbuilt septic scan [335051\\_1](#)

Owner: JOHNSON, NICHOLAS M & COURTNEY C

Owner JOHNSON, NICHOLAS M & COURTNEY C Co-Owner Book page 34362/144  
Street1 127 CEDARWOOD ROAD Street2 Street3  
City COTUIT County State Zip Country MA 02635

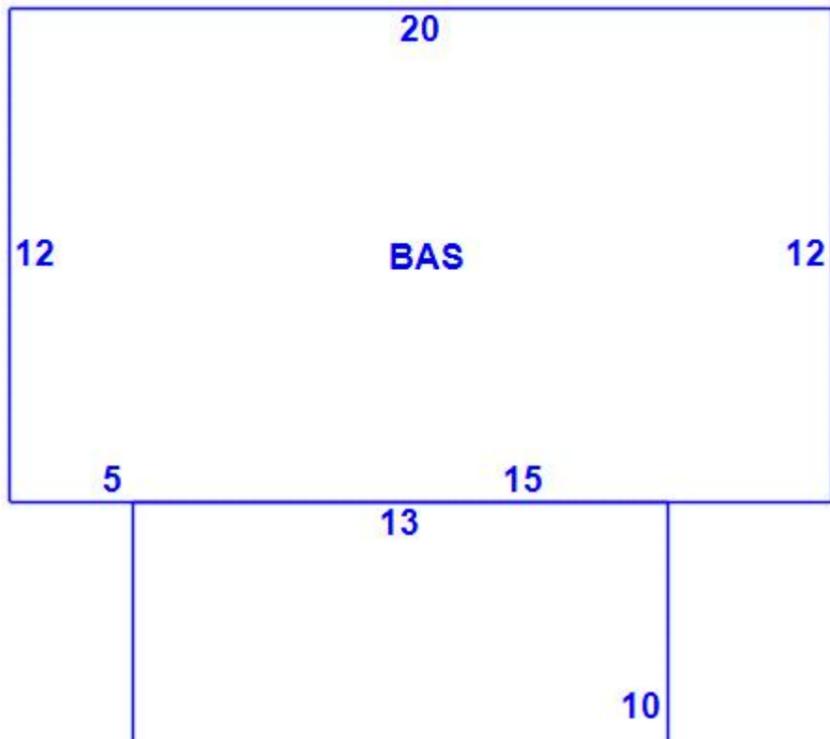
Land

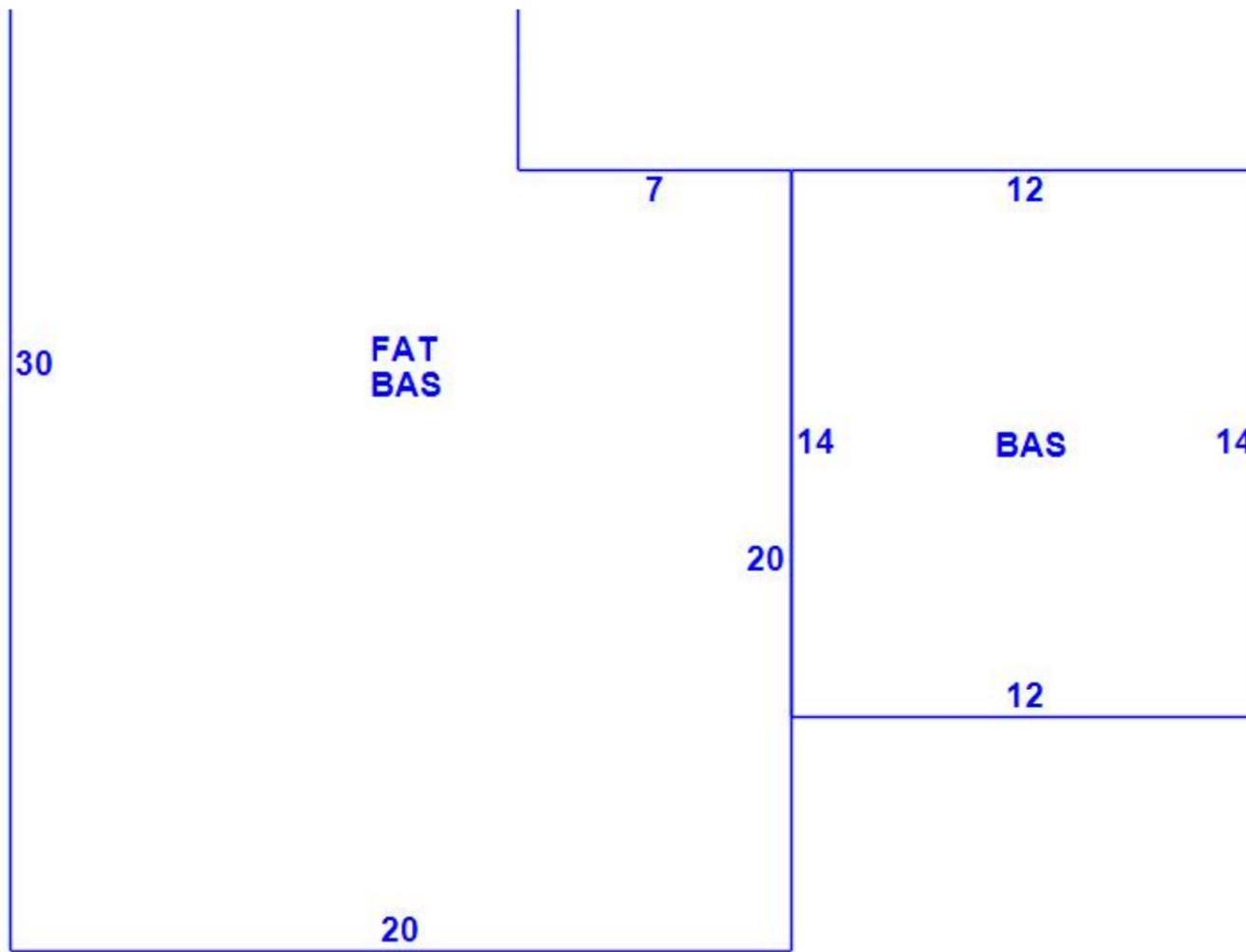
Acres 0.38 Use Single Fam M-01 Zoning RF-2 Neighborhood 0109  
Topography Level Street factor Paved Town Zone of Contribution AP (Aquifer Protection Overlay District)  
Utilities Public Water,Gas,Septic Location factor State Zone of Contribution OUT

Construction

Building 1 of 1

Year built 1745 Roof structure Gable/Hip Heat type Elec Baseboard  
Living area 1018 Roof cover Asph/F Gls/Cmp Heat fuel Electric  
Gross area 1468 Exterior wall Wood Shingle AC type None  
Style Conventional Interior wall Plastered Bedrooms 2 Bedrooms  
Model Residential Interior floor Pine/Soft Wood Bath rooms 1 Full-0 Half  
Grade Average Minus Foundation Total rooms 5 Rooms  
Stories 1.4





▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
10/14/2021	Sid/Wind/Roof/Door	EXPR-21-1562	\$2,102		WEATHERIZATION, AIR SEALING, WEATHERSTRIPPING, CELLULOSE
06/17/2013	Other	201303978	\$1,800	06/30/2013	REPLC GAR DR
04/03/2012	New Roof	201201903	\$2,000	06/30/2012	REROOF STRIPPING OLD
07/28/2010	Demolish	201003827	\$0	09/22/2010	DEMO-FILL IN POOL
11/04/1996	Remodel	19033	\$3,000	08/19/1997	repairs
09/01/1975	Swimming Pool	B17928	\$0	01/15/1976	BA SW/POO

▼ Sale History

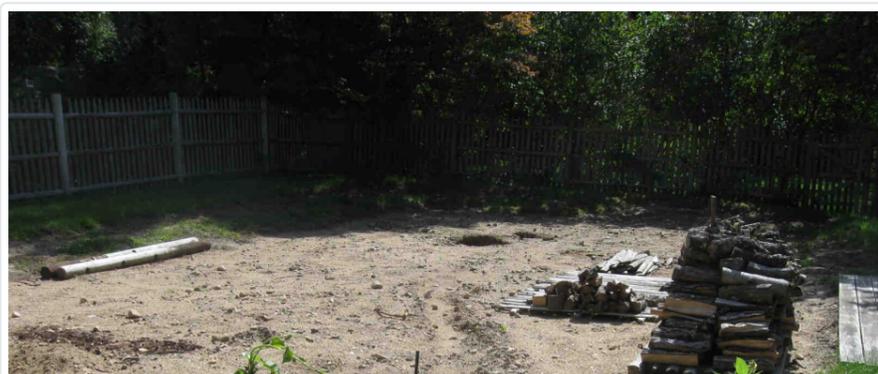
Line	Sale Date	Owner	Book/Page	Sale Price
1	08/06/2021	JOHNSON, NICHOLAS M & COURTNEY C	34362/144	\$465,000
2	03/07/2011	HODGSON, LAURA	#BA11P0394EA/0	\$0
3	10/15/1994	LABER, MARGARET A	9405/0243	\$1
4	02/24/1972	LABER, MARGARET A	1607/0134	\$0

▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$137,000	\$0	\$12,300	\$216,700	\$366,000
2	2021	\$111,100	\$0	\$12,300	\$237,300	\$360,700
3	2020	\$99,800	\$0	\$10,400	\$237,300	\$347,500
4	2019	\$86,900	\$0	\$11,200	\$247,600	\$345,700
5	2018	\$66,000	\$0	\$11,500	\$249,800	\$327,300
6	2017	\$65,000	\$0	\$11,100	\$249,800	\$325,900
7	2016	\$65,000	\$0	\$11,100	\$251,900	\$328,000
8	2015	\$75,500	\$0	\$9,800	\$244,600	\$329,900
9	2014	\$75,500	\$0	\$10,100	\$244,600	\$330,200
10	2013	\$75,500	\$0	\$10,400	\$244,600	\$330,500

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
11	2012	\$74,700	\$0	\$9,800	\$244,600	\$329,100
12	2011	\$93,500	\$0	\$17,700	\$287,200	\$398,400
13	2010	\$93,500	\$0	\$22,200	\$292,500	\$408,200
14	2009	\$83,600	\$0	\$14,700	\$250,600	\$348,900
15	2008	\$86,900	\$0	\$14,700	\$238,700	\$340,300
17	2007	\$86,900	\$0	\$14,700	\$238,700	\$340,300
18	2006	\$80,900	\$0	\$15,300	\$227,700	\$323,900
19	2005	\$78,100	\$0	\$15,800	\$206,500	\$300,400
20	2004	\$69,600	\$0	\$16,000	\$158,300	\$243,900
21	2003	\$54,500	\$0	\$16,600	\$84,900	\$156,000
22	2002	\$54,500	\$0	\$16,600	\$84,900	\$156,000
23	2001	\$54,500	\$0	\$16,600	\$84,900	\$156,000
24	2000	\$58,900	\$0	\$9,500	\$51,900	\$120,300
25	1999	\$58,900	\$0	\$8,000	\$51,900	\$118,800
26	1998	\$58,900	\$0	\$8,000	\$51,900	\$118,800
27	1997	\$53,600	\$0	\$0	\$41,500	\$103,000
28	1996	\$53,600	\$0	\$0	\$41,500	\$103,000
29	1995	\$53,600	\$0	\$0	\$41,500	\$103,000
30	1994	\$56,400	\$0	\$0	\$46,700	\$110,900
31	1993	\$56,400	\$0	\$0	\$46,700	\$110,900
32	1992	\$64,200	\$0	\$0	\$51,900	\$124,900
33	1991	\$56,200	\$0	\$0	\$76,100	\$145,600
34	1990	\$56,200	\$0	\$0	\$76,100	\$145,600
35	1989	\$56,200	\$0	\$0	\$76,100	\$145,600
36	1988	\$46,500	\$0	\$0	\$31,000	\$90,100
37	1987	\$46,500	\$0	\$0	\$31,000	\$90,100
38	1986	\$46,500	\$0	\$0	\$31,000	\$90,100

Photos







Property ID: 335044

ALBANESE. DAVID F & JILL L DRUHAN-  
25 BAYBERRY LANE  
CUMMAQUID. MA 02637

Property ID: 335045

FLAHERTY. MARK M & DECOSTA. LEANNE  
26 BAYBERRY LN  
CUMMAQUID. MA 02637

Property ID: 335050

SMITH. PETER J & CHARLENE B  
3925 MAIN ST  
BARNSTABLE. MA 02630

Property ID: 335051

JOHNSON. NICHOLAS M & COURTNEY C  
127 CEDARWOOD ROAD  
COTUIT. MA 02635

Property ID: 335057

LECLERC. DAVID & PAMELA  
3920 MAIN ST  
CUMMAQUID. MA 02637



**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
 Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 1/19/22 **Map & Parcel** 301 / 013

**Property Owner** Susan Eacott Comer TR Phone 860-712-1354

Street address 294 Millway Email scomer@bbeinc.com

Village Barnstable

Mailing address \_\_\_\_\_ Signature \_\_\_\_\_

**Agent/Contractor** Kevin Werner Fine Line Design Phone 508-420-1296

Agent Address Box 163 Cummaquid MA 02637 Email kevin@finelinearchitectural.com

Agent Signature 

**If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.**

**There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.**

	<input type="checkbox"/> New Build	<input checked="" type="checkbox"/> Additi	<b>Check all categories that apply</b>		<input checked="" type="checkbox"/> Residential	<input type="checkbox"/>
<b>Building Construction</b>						Commercial
<b>Type of Building</b>	<input checked="" type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/>	Other
<b>Project</b>	<input checked="" type="checkbox"/> Roof	<input checked="" type="checkbox"/> Windows/Doors	<input checked="" type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input type="checkbox"/>	Other
<b>Landscape Feature</b>	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/>	Other _____
<b>Signs</b>	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/>	<input type="checkbox"/>	Other _____

**Description of Proposed Work** Remove a portion of the existing roof and create a new second story.

**DENIED**

	<p><i>for Committee use only</i> <b>This Certificate is hereby</b> <b>APPROVED</b></p> <p>By a vote of <u>    </u> Aye <u>    </u> Nay <u>    </u> Abstain <u>    </u> Date <u>    </u></p> <p><i>Members signatures</i></p> <p>_____</p> <p>_____</p> <p><b>Conditions of Approval</b></p> <p>_____</p>
--	--

## CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY**

Material  Color

**ROOF**

Make & style  Color

Roof Pitch (s) – (7/12 minimum)  (specify on plans for new building & major additions)

**GUTTER**

Type/Material  Color

**WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS**

Window/Door Trim material Wood  Other specify

Size of cornerboards  Size of casings (1X4 min)  Color

Rakes 1<sup>st</sup> member  2<sup>nd</sup> Member  Depth of overhang

Windows: Make/Model  Material  Color

Window Grills Divided Light  Exterior Glued Grills  Grills Between Glass

Removable Interior Grills  No Grills  Grill Pattern

Doors: Style & Make  Material  Color

Garage doors: Style  Size of opening  Material

Color

Shutters: Type & Style  Material  Color

Skylights: Type  Make & Model

Material  Size  Color

**SIDING**

Type Clapboard  Shingle  Other

Material Red Cedar  White Cedar  Other

Paint Color

**FOUNDATION**

Type  (max 12' exposed)

**DECK**

Material  Color

**SIGNS**

Size  Materials  Color

**FENCE**

Type  Color

Material  Length

**RETAING WALL**

Description

**LIGHTING**

Type and location (free standing affixed to structure, illuminated)

# CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

**Submit six (6) complete colored sets, unless otherwise noted**

## **FEES**

- .... **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- .... **Legal Ad fee**, in the amount of **\$19.84**, made payable to the Town of Barnstable
- .... **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

## **ALTERATIONS** *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures and color samples
- .... Plans of building elevations/photographs, **ONLY** if there is a change to the location and size of the window (s) or Door (s).

## **MINOR ADDITIONS** *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... **Application for Certificate of Appropriateness**,
- .... **Spec Sheet**, brochures and color samples
- .... **Site Plan**, **ONLY** if there are changes to the footprint *(see site plan criteria below)*  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... **Photographs** of all building elevation affected by any proposed alterations
- .... **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper  
Company brochure of manufacturers shed or to-scale sketch **or** affected structure or building elevations

## **ASSESSORY STRUCTURES, NEW/ALTERED** *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures &/or diagram
- .... **Site Plan** *(see site plan criteria below)*
- .... **Photographs** of any existing structure that will be affected by the change

## **SIGNS** *(complete sign supplement)*

- .... **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

## **SOLAR PANELS** *(complete solar panel supplement)*

- .... **Drawing** of locations of panels on house showing roof and panel dimensions
- .... **Site Plan** showing location of building on property *(see site plan criteria below)*

## **SITE PLAN CRITERIA**

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

**Submit Six (6) complete colored sets, unless otherwise noted**

..... **Application for Certificate of Appropriateness**

..... **Spec Sheet**, brochures or diagram

..... **Site Plan**

- ..... Name of applicant, street location, map and parcel
- ..... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ..... North arrow, written and drawn to scale
- ..... Changes to existing grades shown with one-foot contours
- ..... Proposed & existing footprint of building and/or structures, and distance to lot lines
- ..... Proposed driveway location
- ..... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ..... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

..... **Building Elevations**

- ..... Plans at scale of 1/4" = 1 foot; a written drawn scale
- ..... Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
- ..... Name of applicant, street location, map and parcel
- ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ..... A written and bar drawn scale
- ..... Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ..... Window schedule on plans

..... **Landscape Plan** (drawn on a certified perimeter plan containing the following)

- ..... Name of applicant, street address, assessor's map and parcel number
- ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ..... The location of existing and proposed buildings and structures, and lot lines
- ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ..... Existing buffer areas to remain
- ..... Location and species of trees and plants
- ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
- ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
*For removal of stone walls, you must file a demolition application*
- ..... All proposed exterior lighting and signs

..... **Sketch or Photos of adjacent properties**

- ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,
- ..... Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
*Please discuss with staff if you do not think this is relevant to your application.*

..... **Photographs of all sides of existing buildings** to remain or being added to

**Existing building, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Existing building, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Plan preparer, signature and date**

--	--

# SOLAR PANEL SUPPLEMENT

## STRUCTURE ONE

### STRUCTURE TYPE

Home

Garage

Barn

### ELEVATION PLACEMENT

North

South

East

West

### ROOF MEASUREMENTS

Length

Height

Pitch

### SOLAR PANEL MEASUREMENTS

Length

Depth

Width

### SOLAR PANEL TYPE & FINISH

Color

Finish (matte or glossy)

## STRUCTURE TWO

### STRUCTURE TYPE

Home

Garage

Barn

### ELEVATION PLACEMENT

North

South

East

West

### ROOF MEASUREMENTS

Length

Height

Pitch

### SOLAR PANEL MEASUREMENTS

Length

Depth

Width

### SOLAR PANEL TYPE & FINISH

Type

Roof Mounted

Ground Mounted

Canopy/Carport System

Color

Finish (matte or glossy)

Solar Company

Phone

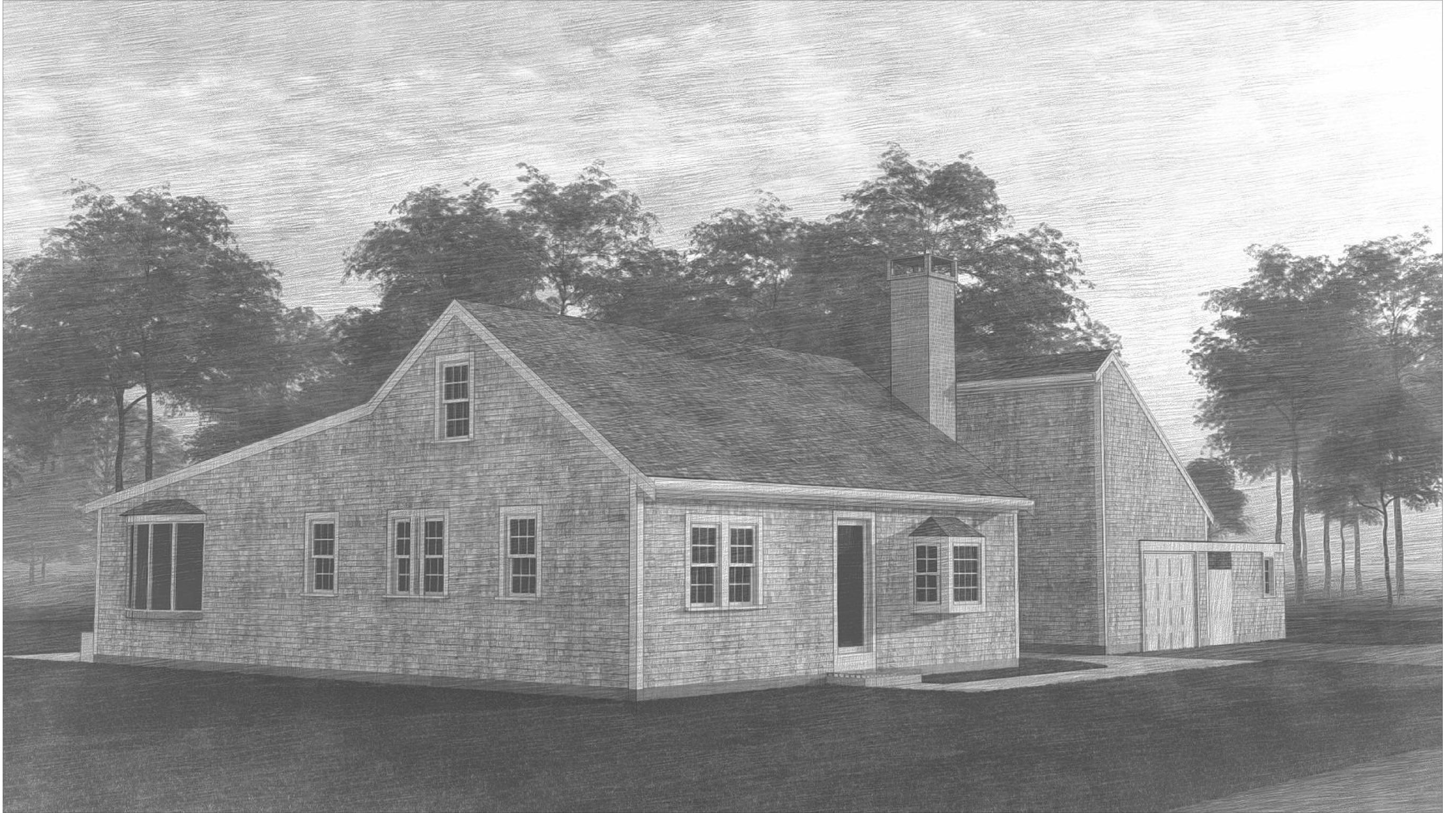
Solar representative

Print Name

Signature

Date





EXISTING CONDITIONS - COMER RESIDENCE -294 MILLWAY -BARNSTABLE, MA



PROPOSED - COMER RESIDENCE -294 MILLWAY -BARNSTABLE, MA

NOTES:



1  
XI EXISTING FRONT (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



2  
XI EXISTING LEFT (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

COMER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES  
DATE ISSUE

REVISIONS  
# DATE DESCRIPTION

EXISTING  
ELEVATIONS

SHEET #5 OF 17

X1

DATE: 1/14/22

NOTES:



1  
X2 EXISTING REAR (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



2  
X2 EXISTING RIGHT (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"

COMER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES  
DATE ISSUE

REVISIONS  
# DATE DESCRIPTION

EXISTING  
ELEVATIONS

SHEET #6 OF 17

X2

DATE: 1/14/22

ID	QUANTITY	UNIT SIZE		COMMENT
		WIDTH	HEIGHT	
Ⓐ	7	37 5/8"	52 7/8"	WHITE DH - TW 3042 6/1 SDL LITE
Ⓑ	6	37 5/8"	40 7/8"	WHITE DH - TW 3032 6/1 SDL LITE
Ⓒ	7	29 5/8"	52 7/8"	WHITE DH - TW 2442 6/1 SDL LITE
Ⓓ	2	25 5/8"	52 7/8"	WHITE DH - TW 2042 4/1 SDL LITE
Ⓔ	1	59 5/16"	52 7/8"	WHITE PICTURE - DHP 41042 FRACTAL LITE
Ⓕ	3	48"	17"	WHITE AWNING - AR351 4/4 LITE

WINDOWS NOT TAGGED ARE EXISTING NOT BEING REPLACED  
NOTE: WINDOWS NOTED ARE 400 SERIES MANUFACTURED BY ANDERSEN. G.C. TO CHECK SIZE AND LOCATION PRIOR TO WINDOW ORDER AND CONSTRUCTION. NOTIFY FLD FOR SCHEDULE TO BE UPDATED AFTER RECEIVING WINDOW QUOTE FROM ANDERSEN REP.



1  
A1 NEW FRONT (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



2  
A1 NEW LEFT (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

NOTES:

COMER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES

DATE	ISSUE
------	-------

REVISIONS

#	DATE	DESCRIPTION
---	------	-------------

NEW  
ELEVATIONS

SHEET # OF 17

A1

DATE: 1/14/22

NOTES:



1  
A2 NEW REAR (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



1  
A2 NEW RIGHT (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"

COMER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES  
DATE ISSUE

REVISIONS  
# DATE DESCRIPTION

NEW  
ELEVATIONS

SHEET #8 OF 17

A2

DATE: 1/14/22

NOTES:

COMER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES

DATE	ISSUE

REVISIONS

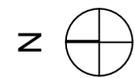
#	DATE	DESCRIPTION

EXISTING FIRST  
FLOOR PLAN

SHEET #9 OF 17

X3

DATE: 1/14/22



1 EXISTING FLOOR PLAN  
X3 SCALE: 1/4" = 1'-0"

NOTES:

COMER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES

DATE	ISSUE

REVISIONS

#	DATE	DESCRIPTION

NEW FIRST  
FLOOR PLAN

SHEET #10 OF 17

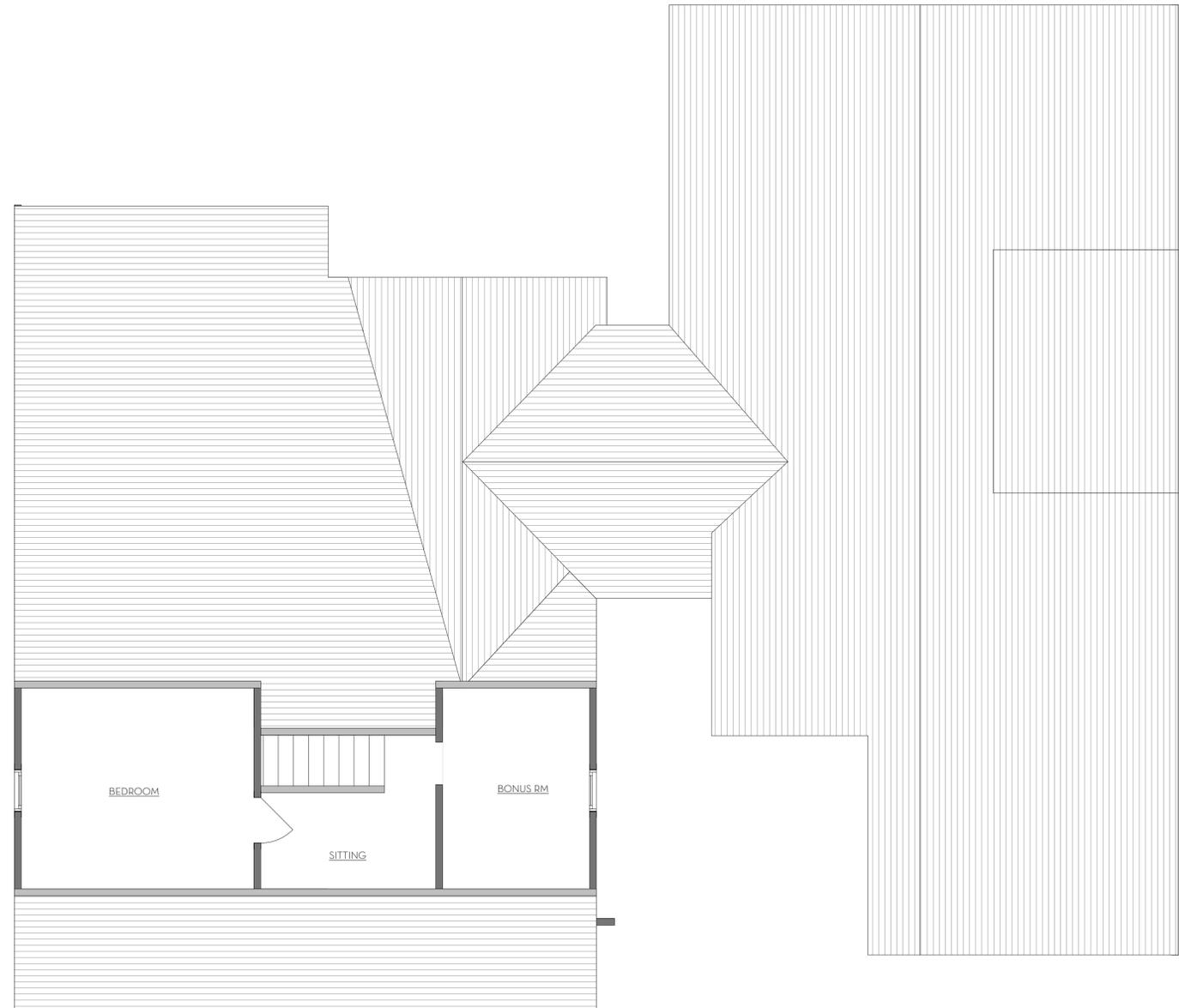
A4

DATE: 1/14/22



1 NEW FIRST FLOOR PLAN  
A4 SCALE: 1/4" = 1'-0"

NOTES:



COMER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES

DATE	ISSUE
------	-------

DATE	ISSUE

REVISIONS

#	DATE	DESCRIPTION
---	------	-------------

#	DATE	DESCRIPTION

EXISTING  
SECOND FLOOR  
PLAN

SHEET #11 OF 17

**X4**

DATE: 1/14/22

1  
X4 EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NOTES:



1  
A5 NEW SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

COMER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES	
DATE	ISSUE

REVISIONS		
#	DATE	DESCRIPTION

NEW SECOND  
FLOOR PLAN

SHEET #12 OF 17

A5

DATE: 1/14/22

### Legend

Road Names



Map printed on: 2/4/2022



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

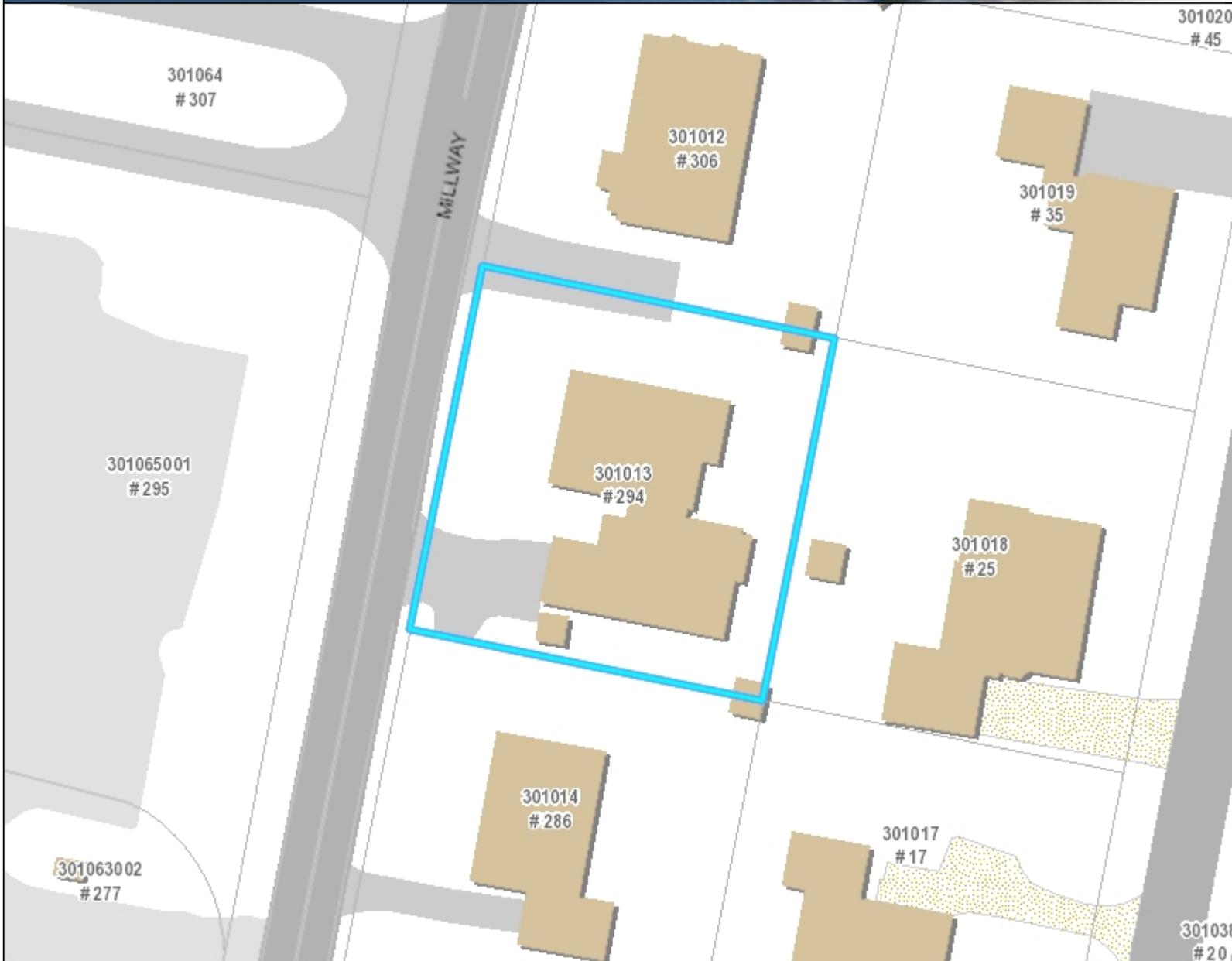


**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



**Legend**

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- ▭ Approx. Building
- ▭ Buildings
- Painted Lines
- Parking Lots
- ▭ Paved
- ▭ Unpaved
- Driveways
- ▭ Paved
- ▭ Unpaved
- Roads
- ▭ Paved Road
- ▭ Unpaved Road
- ▨ Bridge
- ▬ Paved Median
- Streams
- ▭ Marsh
- ▭ Water Bodies

Map printed on: 2/4/2022



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 301-013

Location: 294 MILLWAY, Barnstable

Owner: COMER, SUSAN EACOTT TR



Parcel  
301-013

Location  
294 MILLWAY

Village  
Barnstable

Town sewer account  
Active

Developer lot:  
LOTS 163 & 165

Road type  
Town

Fire district  
Barnstable

Property Record Card  
[Property Record Card PDF File](#)

Secondary road

Road index  
1028

Interactive map



CWMP Sewer Expansion (subject to change with final engineering design)  
None planned at this time

Sewer connection files  
[card\\_1](#)

Owner: COMER, SUSAN EACOTT TR

Owner  
COMER, SUSAN EACOTT TR

Co-Owner  
SUSAN EACOTT COMER REV TRUST

Book page  
C218586/0

Street1  
139 MORGAN ROAD

Street2

Street3

City County  
CANTON

State Zip Country  
CT 06019

Land

Acres Use  
0.22 Single Fam M-01

Zoning  
SPLIT RB;MB-B

Neighborhood  
0112

Topography Street factor  
Town Zone of Contribution  
AP (Aquifer Protection Overlay District)

Utilities Location factor  
State Zone of Contribution  
OUT

Construction

Building 1 of 2

Year built  
1979

Roof structure  
Gable/Hip

Heat type  
Hot Water

Living area  
2328

Roof cover  
Asph/F Gls/Cmp

Heat fuel  
Gas

Gross area  
3980

Exterior wall  
Wood Shingle

AC type  
Central

Style  
Cape Cod

Interior wall  
Drywall

Bedrooms  
4 Bedrooms

Model  
Residential

Interior floor  
Carpet, Hardwood

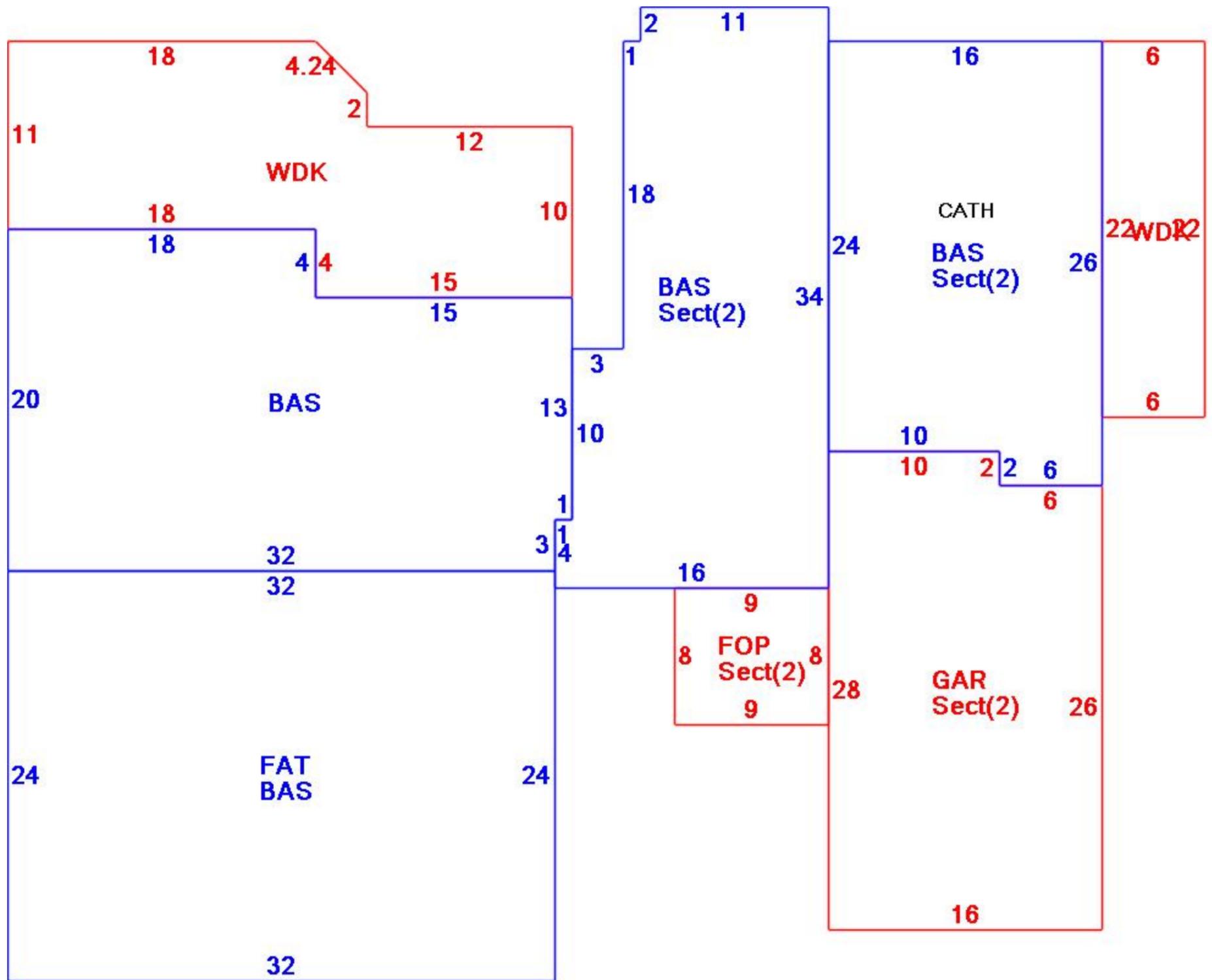
Bath rooms  
3 Full-0 Half

Grade  
Average

Foundation

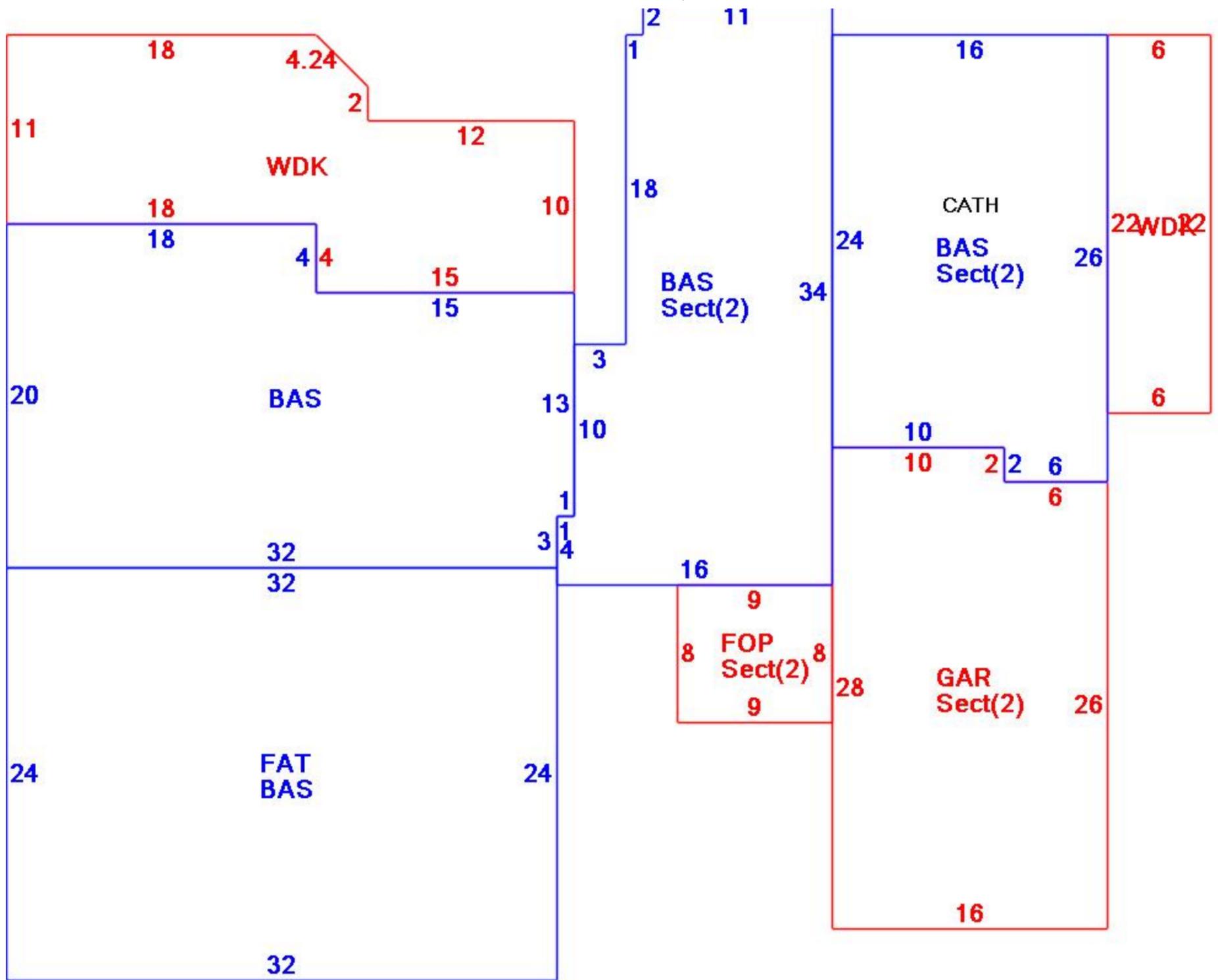
Total rooms  
10

Stories  
1.4



Building 1 of 2

Year built 2011	Roof structure Gable/Hip	Heat type Hot Water
Living area 2328	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 3980	Exterior wall Wood Shingle	AC type Central
Style Cape Cod	Interior wall Drywall	Bedrooms 1 Bedroom
Model Residential	Interior floor Carpet, Hardwood	Bath rooms 1 Full-0 Half
Grade Average	Foundation	Total rooms 3
Stories 1.4		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
04/09/2019	Sid/Wind/Roof/Door	19-1150	\$9,000		roof - yarmouth
05/03/2018	Alt-Int work-Res	18-1087	\$7,107		repair flood damaged block wall & 3 piers in crawl area of home. replace pier posts and attach to girder with simpson postcap hardware
11/01/2017	Sid/Wind/Roof/Door	17-3801	\$9,995		replace 2 windows .30 uvalue
10/31/2017	Insulation	17-3679	\$4,700		Install 8" Layer R28 Class 1 Cellulose Added to 384 Sq. Ft. Open Kneewall Floor - Install 32 Ventilation Chutes in Rafter Bays.
05/24/2012	HVAC	201202955	\$10,000	02/25/2013	NEW DUCT SYSTEM FOR 3 ZONES HEATING & COOLING
01/13/2012	Remodel-Addition	201107157	\$275,000	02/25/2013	REMOV EXIST GAR,ENTRY & ENTRY DECK-ADD NW ATT GAR,MSTRBDRM SUITE, LAUNDRY,ENTRY,ASPHALT DRIVEWAY,DECK,SHED,OUTDR SHWR
01/01/1992	Addition	B34797	\$1,500	01/15/1993	BA REPAIR

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	02/11/2019	COMER, SUSAN EACOTT TR	C218586/0	\$750,000
2	03/15/2004	TEMKIN, ROBERT H & ELLEN P	C172349/0	\$605,000
3	05/18/1973	MCKIEL, ROBERT D & KATHERINE L	C58597/0	\$0

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$366,300	\$31,200	\$8,700	\$431,100	\$837,300
2	2021	\$306,900	\$31,600	\$8,700	\$391,900	\$739,100
3	2020	\$302,300	\$26,500	\$7,500	\$391,900	\$728,200
4	2019	\$265,000	\$26,900	\$8,000	\$411,500	\$711,400
5	2018	\$221,100	\$27,000	\$8,200	\$391,900	\$648,200
6	2017	\$206,700	\$26,400	\$8,100	\$391,900	\$633,100
7	2016	\$206,700	\$26,400	\$8,100	\$400,900	\$642,100
8	2015	\$210,500	\$24,600	\$10,100	\$381,100	\$626,300
9	2014	\$205,200	\$23,700	\$10,500	\$381,100	\$620,500
10	2013	\$189,300	\$22,200	\$10,900	\$381,100	\$603,500
11	2012	\$139,900	\$17,000	\$6,900	\$381,100	\$544,900
12	2011	\$156,800	\$6,800	\$900	\$381,100	\$545,600
13	2010	\$156,300	\$6,800	\$1,000	\$381,100	\$545,200
14	2009	\$166,900	\$5,500	\$500	\$376,300	\$549,200
15	2008	\$179,100	\$5,500	\$500	\$384,200	\$569,300
17	2007	\$179,100	\$5,500	\$500	\$384,200	\$569,300
18	2006	\$181,900	\$5,500	\$500	\$355,800	\$543,700
19	2005	\$164,600	\$5,400	\$500	\$286,700	\$457,200
20	2004	\$146,000	\$5,400	\$500	\$254,900	\$406,800
21	2003	\$113,300	\$2,700	\$500	\$98,100	\$214,600
22	2002	\$113,300	\$2,700	\$500	\$98,100	\$214,600
23	2001	\$113,300	\$2,700	\$500	\$98,100	\$214,600
24	2000	\$87,600	\$2,500	\$300	\$84,100	\$174,500
25	1999	\$87,600	\$2,500	\$300	\$84,100	\$174,500
26	1998	\$87,600	\$2,500	\$300	\$84,100	\$174,500
27	1997	\$90,900	\$0	\$0	\$50,300	\$142,000
28	1996	\$98,100	\$0	\$0	\$50,300	\$149,200
29	1995	\$98,100	\$0	\$0	\$50,300	\$149,200
30	1994	\$91,000	\$0	\$0	\$39,200	\$131,000
31	1993	\$83,800	\$0	\$0	\$39,200	\$123,000
32	1992	\$95,200	\$0	\$0	\$43,600	\$138,800
33	1991	\$97,300	\$0	\$0	\$83,800	\$181,100
34	1990	\$97,300	\$0	\$0	\$83,800	\$181,100
35	1989	\$97,300	\$0	\$0	\$83,800	\$181,100
36	1988	\$97,500	\$0	\$0	\$44,200	\$141,700
37	1987	\$97,500	\$0	\$0	\$44,200	\$141,700
38	1986	\$97,500	\$0	\$0	\$44,200	\$141,700

Photos









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Property ID: 301012

TROMBI, NICHOLAS & MARNIE  
306 MILLWAY  
BARNSTABLE, MA 02630

Property ID: 301013

COMER, SUSAN EACOTT TR  
SUSAN EACOTT COMER REV TRUST  
139 MORGAN ROAD  
CANTON, CT 06019

Property ID: 301014

GOEHRING, HILDA L TR  
HILDA L GOEHRING REV TRUST  
143 PINE LANE  
BARNSTABLE, MA 02630

Property ID: 301017

SUYEMATSU, JEFFREY K TR  
PERNA REALTY TRUST II  
280 FARNUM STREET  
NORTH ANDOVER, MA 01845

Property ID: 301018

MASTICO, NANCY J  
79 BAXTER AVE  
QUINCY, MA 02169

Property ID: 301065001

BLAIR, HENRY E & MURPHY, RAYMOND M  
MILL WAY REALTY TRUST  
P O BOX 657  
BARNSTABLE, MA 02630



Town of Barnstable  
 Planning & Development Department  
 Old King's Highway Historic District Committee  
 200 Main Street, Hyannis, MA 02601  
[www.townofbarnstable.us/planninganddevelopment](http://www.townofbarnstable.us/planninganddevelopment)



Elizabeth Jenkins, AICP  
 Director

REQUEST FOR EXTENSION

Applicant (s) JOSHUA GARVEY

Address of proposed project 111 GEORGE ST.

BARNSTABLE, MA

Original Approval Date 3.11.2020 - CERT. OF DEMOLITION

One Year Extension  
 Approved on 2.25.2021

Applicant (s) Signature  ERIK TOLLET, ERT ARCHITECTS

Date 2.2.2022

Approval Signature, OKH \_\_\_\_\_  
 Paul Richard, Chair, Old King's Highway Historic District Committee

Date \_\_\_\_\_



Town of Barnstable  
 Planning & Development Department  
 Old King's Highway Historic District Committee  
 200 Main Street, Hyannis, MA 02601  
[www.townofbarnstable.us/planninganddevelopment](http://www.townofbarnstable.us/planninganddevelopment)



Elizabeth Jenkins, AICP  
 Director

REQUEST FOR EXTENSION

Applicant (s) JOSHUA GARVEY

Address of proposed project 111 GEORGE ST.  
BARNSTABLE, MA

Original Approval Date 8.12.2020 - CERT. OF APPROPRIATENESS

One Year Extension  
 Approved on 8.11.2021

Applicant (s) Signature  ERIK TOLLEY, ERT ARCHITECTS

Date 2.2.2022

Approval Signature, OKH \_\_\_\_\_  
 Paul Richard, Chair, Old King's Highway Historic District Committee

Date \_\_\_\_\_



# Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

## APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:  New     Addition     Alteration
- 2. Type of Building:  House     Garage/barn     Shed     Commercial     Other
- 3. Exterior Painting, roof  new roof     color/material change, of trim, siding, window, door
- 4. Sign:  New Sign     Existing Sign     Repainting Existing Sign
- 5. Structure:  Fence     Wall     Flagpole     Retaining wall     Tennis court     Other
- 6. Pool  Swimming     Other man-made pool     Solar panels     Other

Type or Print Legibly:    Date 7.3.2020

*NOTE All applications must be signed by the current owner*

Owner (print): Joshua Garvey    Telephone #: 727.543.2116  
 Address of Proposed Work: 111 GEORGE ST    Village BNSTBL    Map Lot # 319/052  
 Mailing Address (if different) 10 DAIRY LN., UPTON, MA 01568  
 Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done:  
Remove existing dwelling & replace w/ new single family Home.

Agent or Contractor (print): ERT ARCHITECTS, INC    Telephone #: 508 362 8883  
 Address: 299 WHITE'S PATH SOUTH YARMOUTH, MA 02664  
 Contractor/Agent's signature: [Signature]

<i>For committee use only</i>	<b>This Certificate is hereby APPROVED / DENIED</b>
Date _____	Members signatures _____
Conditions of approval _____	

**CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies**

**Foundation Type:** (Max. 12" exposed) (material - brick/cement, other) CONCRETE, MAX 12" EXP

**Siding Type:** Clapboard  shingle  other   
Material: red cedar  white cedar  other  Color: NATURAL

**Chimney Material:** SPLIT FACED STONE Color: \_\_\_\_\_

**Roof Material:** (make & style) ARCHITECTURAL ASPALT Color: BLACK

**Roof Pitch(s):** (7/12 minimum) SEE ELEVS (specify on plans for new buildings, major additions)

**Window and door trim material:** wood  other material, specify PVC

Size of cornerboards NA size of casings (1 X 4 min.) 1x4 color WHITE

Rakes 1st member 1x10 2nd member 1x4 Depth of overhang SEE ELEVS

**Window:** (make/model) MARVIN material FBGLS color WHITE  
(Provide window schedule on plan for new buildings, major additions)

**Window grills** (please check all that apply): \* SDL  
true divided lights  exterior glued grills  grills between glass  removable interior  None

**Door style and make:** THERMATRUE material FBGLS Color: WHITE

**Garage Door, Style** CARRIAGE Size of opening 8x9 Material ALUM Color WHITE

**Shutter Type/Style/Material:** NA Color: \_\_\_\_\_

**Gutter Type/Material:** NA Color: \_\_\_\_\_

**Deck material:** wood  other material, specify \_\_\_\_\_ Color: \_\_\_\_\_

**Skylight, type/make/model/:** \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_ Size: \_\_\_\_\_

**Sign size:** \_\_\_\_\_ **Type/Materials:** \_\_\_\_\_ **Color:** \_\_\_\_\_

**Fence Type (max 6' ) Style** \_\_\_\_\_ **material:** \_\_\_\_\_ **Color:** \_\_\_\_\_

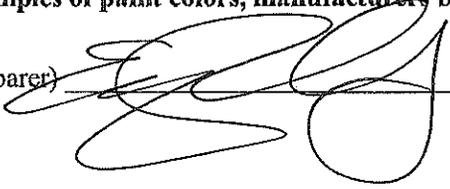
**Retaining wall: Material:** \_\_\_\_\_

**Lighting, freestanding** \_\_\_\_\_ **on building** \_\_\_\_\_ **illuminating sign** \_\_\_\_\_

**OTHER INFORMATION:** \_\_\_\_\_

**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

**Signed:** (plan preparer)  **Print Name** ERIK TOLLEY

**LOCUS INFORMATION**

CURRENT OWNER: JOSHUA GARVEY  
 TITLE REFERENCE: DEED BOOK 32534, PAGE 1  
 PLAN REFERENCE: PLAN BOOK 75, PAGE 155  
 ASSESSORS MAP: 319  
 PARCEL: 052  
 ZONING DISTRICT: RB  
 SETBACKS: FRONT 20'  
 SIDE 10'  
 REAR 10'

MINIMUM LOT SIZE: 43,560 S.F.  
 EXISTING LOT AREA: 10,348 S.F. (TO MHW) (ZONING LOT AREA)  
 EX. BUILDING COVERAGE: 8,392 S.F. (TO FLOOD ZONE LINE)  
 EX. BUILDING COVERAGE: 1,668 S.F. / 8,392 (19.9%)  
 PROP. BUILDING COVERAGE: 1,662 S.F. / 8,392 (19.8%)  
 NITROGEN SENSITIVE: AP (TOWN SEWER AVAILABLE)  
 FEMA FLOOD ZONE: X\* (VE ALONG SHORE)  
 OVERLAY DISTRICT: O. K. H.

**F.A.R. CALCULATION**

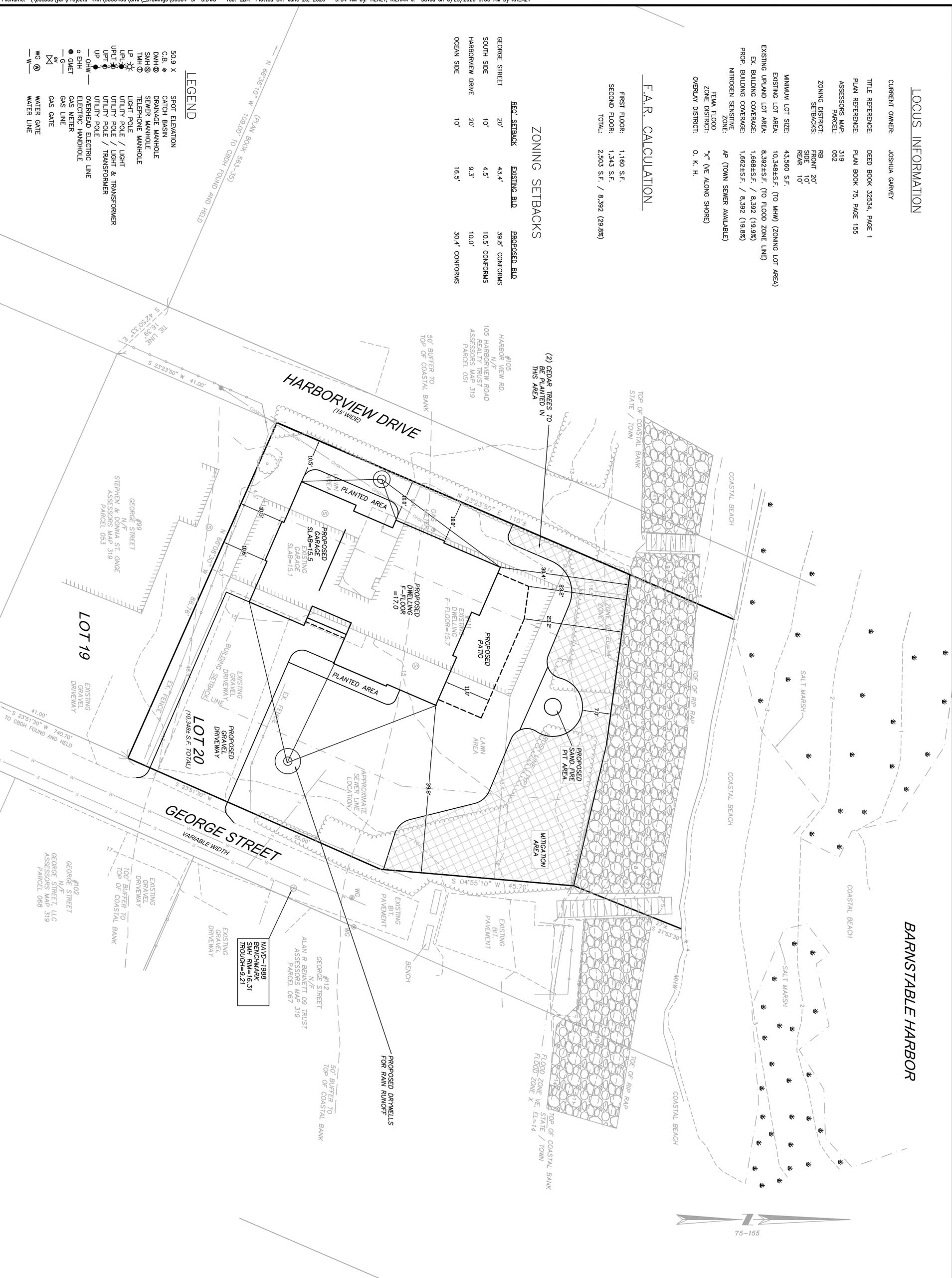
FIRST FLOOR: 1,160 S.F.  
 SECOND FLOOR: 1,343 S.F.  
 TOTAL: 2,503 S.F. / 8,392 (29.8%)

**ZONING SETBACKS**

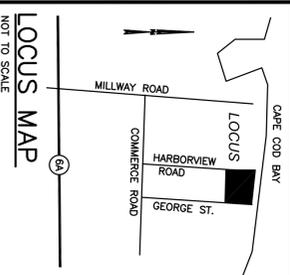
REQ. SETBACK	EXISTING BLD	PROPOSED BLD
GEORGE STREET	20'	43.4'
SOUTH SIDE	10'	4.5'
HARBORVIEW DRIVE	20'	9.3'
OCEAN SIDE	10'	16.5'
		30.4' CONFORMS

**LEGEND**

- 50.9 X SPOT ELEVATION
- C.B. CATCH BASIN
- DMH DRAINAGE MANHOLE
- SMH SEWER MANHOLE
- LP TELEPHONE MANHOLE
- UP LIGHT POLE
- UP LIGHT POLE / LIGHT & TRANSFORMER
- UP UTILITY POLE / TRANSFORMER
- UP UTILITY POLE
- OHW OVERHEAD ELECTRIC LINE
- EHH ELECTRIC HANDHOLE
- GMET GAS METER
- GL GAS LINE
- WG GAS GATE
- WG WATER GATE
- WG WATER LINE



**BARNSTABLE HARBOR**



**LOCUS MAP**  
 NOT TO SCALE

**PLAN OF LAND**

111 GEORGE STREET  
 IN  
 BARNSTABLE  
 MASSACHUSETTS  
 (BARNSTABLE COUNTY)

**PROPOSED DWELLING**

FEBRUARY 5, 2020

REVISIONS:

NO.	DATE	DESC.
1	2-25-20	REDUCE HOUSE SIZE
2	6-25-20	RELOCATE PROP. HOUSE

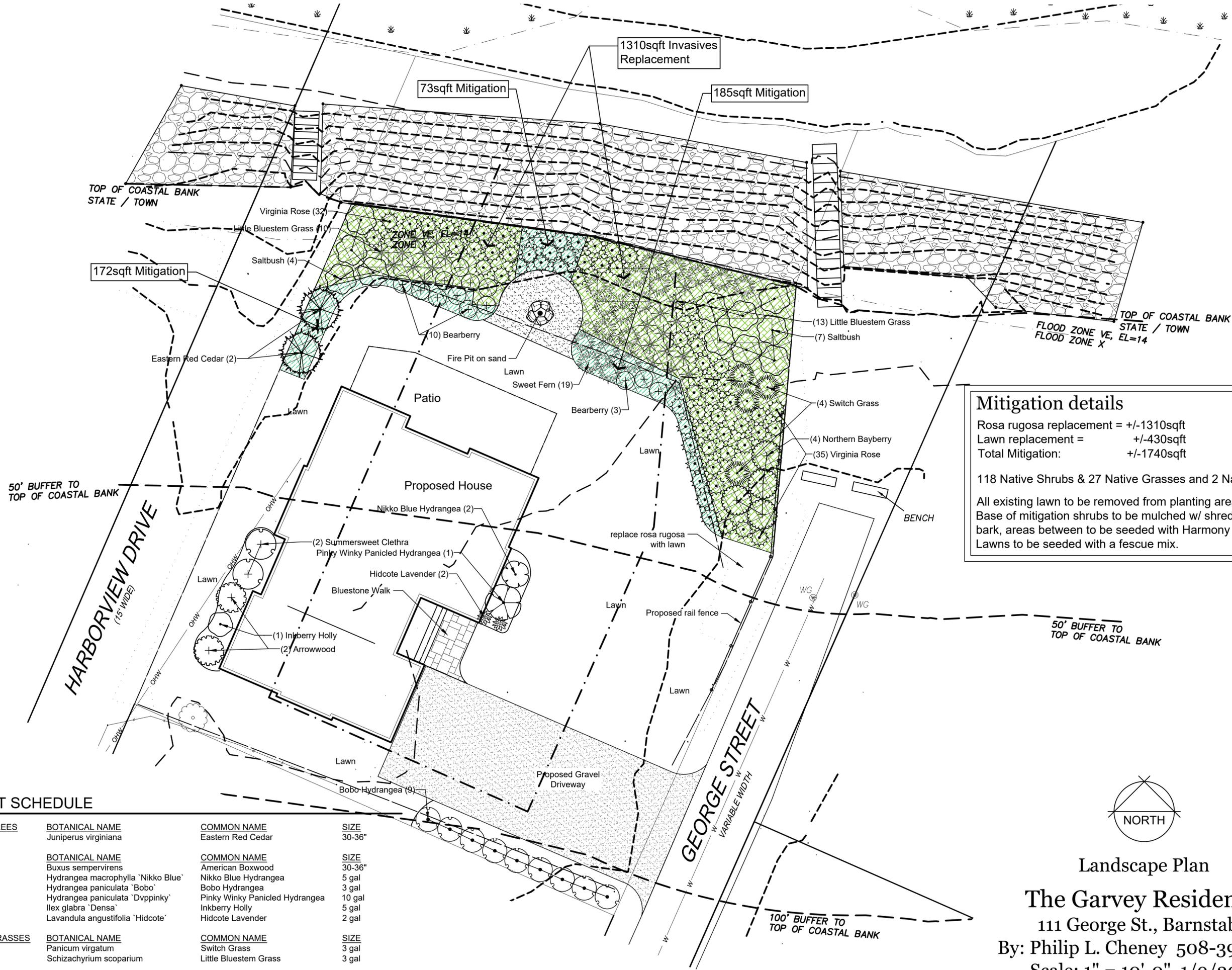
PREPARED FOR:  
 JOSH GARVEY  
 10 DAIRY DRIVE  
 UPTON, MA 01568  
 joshgarvey@clearplanconsulting.com

349 Route 28, Unit D  
 W. Yarmouth, Massachusetts  
 02673  
 508 778 8919



© 2020 BSC Group, Inc.  
 SCALE: 1" = 10'  
 0 5 10 20 FEET

FILE: \\Projects-YAR\5030400\50304-SP-3.dwg  
 DWG. NO: 6587-02 SHEET 1 OF 1  
 JOB. NO: 5-0304.00



1310sqft Invasives Replacement

73sqft Mitigation

185sqft Mitigation

TOP OF COASTAL BANK STATE / TOWN

172sqft Mitigation

TOP OF COASTAL BANK STATE / TOWN  
FLOOD ZONE VE, EL=14  
FLOOD ZONE X

50' BUFFER TO TOP OF COASTAL BANK

HARBORVIEW DRIVE  
(15' WIDE)

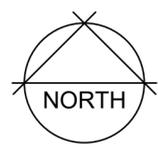
**Mitigation details**  
 Rosa rugosa replacement = +/-1310sqft  
 Lawn replacement = +/-430sqft  
 Total Mitigation: +/-1740sqft  
 118 Native Shrubs & 27 Native Grasses and 2 Native Trees  
 All existing lawn to be removed from planting areas.  
 Base of mitigation shrubs to be mulched w/ shredded pine bark, areas between to be seeded with Harmony Seed mix.  
 Lawns to be seeded with a fescue mix.

50' BUFFER TO TOP OF COASTAL BANK

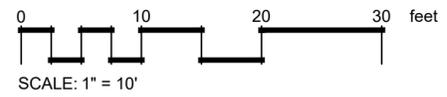
100' BUFFER TO TOP OF COASTAL BANK

**PLANT SCHEDULE**

NATIVE TREES	BOTANICAL NAME	COMMON NAME	SIZE
2	Juniperus virginiana	Eastern Red Cedar	30-36"
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
1	Buxus sempervirens	American Boxwood	30-36"
2	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	5 gal
9	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	3 gal
1	Hydrangea paniculata 'Dvppinky'	Pinky Winky Panicked Hydrangea	10 gal
1	Ilex glabra 'Densa'	Inkberry Holly	5 gal
2	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	2 gal
NATIVE GRASSES	BOTANICAL NAME	COMMON NAME	SIZE
4	Panicum virgatum	Switch Grass	3 gal
23	Schizachyrium scoparium	Little Bluestem Grass	3 gal
NATIVE SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
13	Arctostaphylos uva-ursi	Bearberry	3 gal
11	Baccharis halimifolia	Saltbush	3 gal
2	Clethra alnifolia	Summersweet Clethra	3 gal
19	Comptonia peregrina	Sweet Fern	3 gal
4	Myrica pensylvanica	Northern Bayberry	3 gal
67	Rosa virginiana	Virginia Rose	3 gal
2	Viburnum dentatum	Arrowwood	3 gal



**Landscape Plan**  
**The Garvey Residence**  
 111 George St., Barnstable  
 By: Philip L. Cheney 508-394-1373  
 Scale: 1" = 10'-0" 1/9/2020  
 Rev. 3/4/20 fire pit and cedars  
 Rev. 4/9/20 House re-positioned  
 Rev. 6/25/2020



NEW  
RESIDENCE  
FOR

MR.  
JOSHUA  
GARVEY

111  
GEORGE  
STREET

BARNSTABLE,  
MA

PROJECT # 280919

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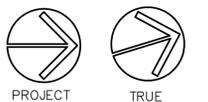
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REGISTRATION

REVISIONS

DATE: 07.01.20 REVISIONS: OKH

ISSUED FOR: OKH  
DATE: 07.01.20



SCALE: 1/4"=1'-0"  
0 1 2 4 8  
UNLESS OTHERWISE NOTED.

SHEET NO.

A.2

TOTAL NUMBER OF SHEETS IN SET:

X

THIS SHEET INVALID UNLESS ACCOMPANIED BY A COMPLETE SET OF WORKING DRAWINGS

REGULATORY FILING SET 06.19.2020



PROPOSED FRONT/EAST ELEVATION



PROPOSED RIGHT/NORTH ELEVATION

MARK	MANUFACTURER	SERIES	SIZE	ROUGH OPENING
1	MARVIN	ELEVATE	ELDH3060	2'-6 1/2" X 5'-0 1/4"
2	MARVIN	ELEVATE	ELDH3444	2'-10 1/2" X 3'-8 1/4"
3	MARVIN	ELEVATE	ELAWN2523	2'-1" X 1'-11 5/8"
4	MARVIN	ELEVATE	ELDH3472	2'-10 1/2" X 3'-8 1/4"
5	MARVIN	ELEVATE	ELDH3472	2'-10 1/2" X 6'-0 1/4"
6	MARVIN	ELEVATE	ELSF10080 OXXO	9'-10" X 8'-0"
7	MARVIN	ELEVATE	ELDH3044	2'-6 1/2" X 3'-8 1/4"
8	MARVIN	ELEVATE	ELDH2244	1'-10 1/2" X 3'-8 1/4"
9	MARVIN	ELEVATE	ELDH3056	2'-6 1/2" X 4'-8 1/4"
10	MARVIN	ELEVATE	ELDH3064	2'-6 1/2" X 5'-4 1/4"
11	MARVIN	ELEVATE	ELDH3048	2'-6 1/2" X 4'-0 1/4"

REGULATORY FILING SET 06.19.2020



**PROPOSED REAR/WEST ELEVATION**



**PROPOSED LEFT/SOUTH ELEVATION**

MARK	MANUFACTURER	SERIES	SIZE	ROUGH OPENING
1	MARVIN	ELEVATE	ELDH3060	2'-6 1/2" X 5'-0 1/4"
2	MARVIN	ELEVATE	ELDH3444	2'-10 1/2" X 3'-8 1/4"
3	MARVIN	ELEVATE	ELAWN2523	2'-1" X 1'-11 5/8"
4	MARVIN	ELEVATE	ELDH3472	2'-10 1/2" X 3'-8 1/4"
5	MARVIN	ELEVATE	ELDH3472	2'-10 1/2" X 6'-0 1/4"
6	MARVIN	ELEVATE	ELSFD10080 OXXO	9'-10" X 8'-0"
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**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
 200 Main Street, Hyannis, Massachusetts 02601  
 Telephone (508) 862-4787, Email [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)



Application for  
**DEMOLITION OR REMOVAL OF A BUILDING OR STRUCTURE**  
 (including partial demolition of buildings, structures; outbuildings, stonewalls, etc.)

Application is hereby made, with five (5) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 1.24.2020 Map & Parcel 319/052

Homeowner Joshua Garvey Phone 727.543.2116  
 Street address 111 George St. Email Josh.Garvey@me.com  
 Village Barnstable

Mailing address 10, Dairy Dr., Upton, MA 01568 Signature

Agent/Contractor ERT ARCHITECTS, INC Phone 508 362 8883

Agent Address 299 White's Path S. Yarmouth Email ERIK@ERTARCHITECTS.COM

Agent Signature

This certificate expires one year from the stamped approval date or upon the expiration of Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received at least 30 days prior to the date of expiration.

There is a 10 day appeal period (14 day waiting period) for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable code requirements.

DEMOLITION OF House  Part of House  Garage  Barn  Stable  Stone Wall  Commercial   
 Other \_\_\_\_\_

Square footage of footprint of building (s) to be demolished: Building 1: 1,552 Building 2: \_\_\_\_\_

Square footage of total floor area of building (s) to be demolished: Building 1: 2,112 Building 2: \_\_\_\_\_

If application is for removal and relocation, state where: \_\_\_\_\_

Note: A separate Certificate of Appropriateness is required for a relocation of a building or structure within the Barnstable Old King's Highway Historic District.

Checklist:  Application, 5 copies  Site Plan, 5 copies  Photographs of all elevations to be demolished  
 \$120 Application fee  \$17.25 Legal ad fee  Postage Stamps

	For Committee use only	<b>This Certificate is hereby</b>	<b>APPROVED</b>	<b>DENIED</b>
	By a vote of	_Aye_ _Nay_ _Abstain	Date _____	
	Members signatures _____			
Conditions of Approval _____				

EXISTING STRUCTURE (PAGES 1-3)

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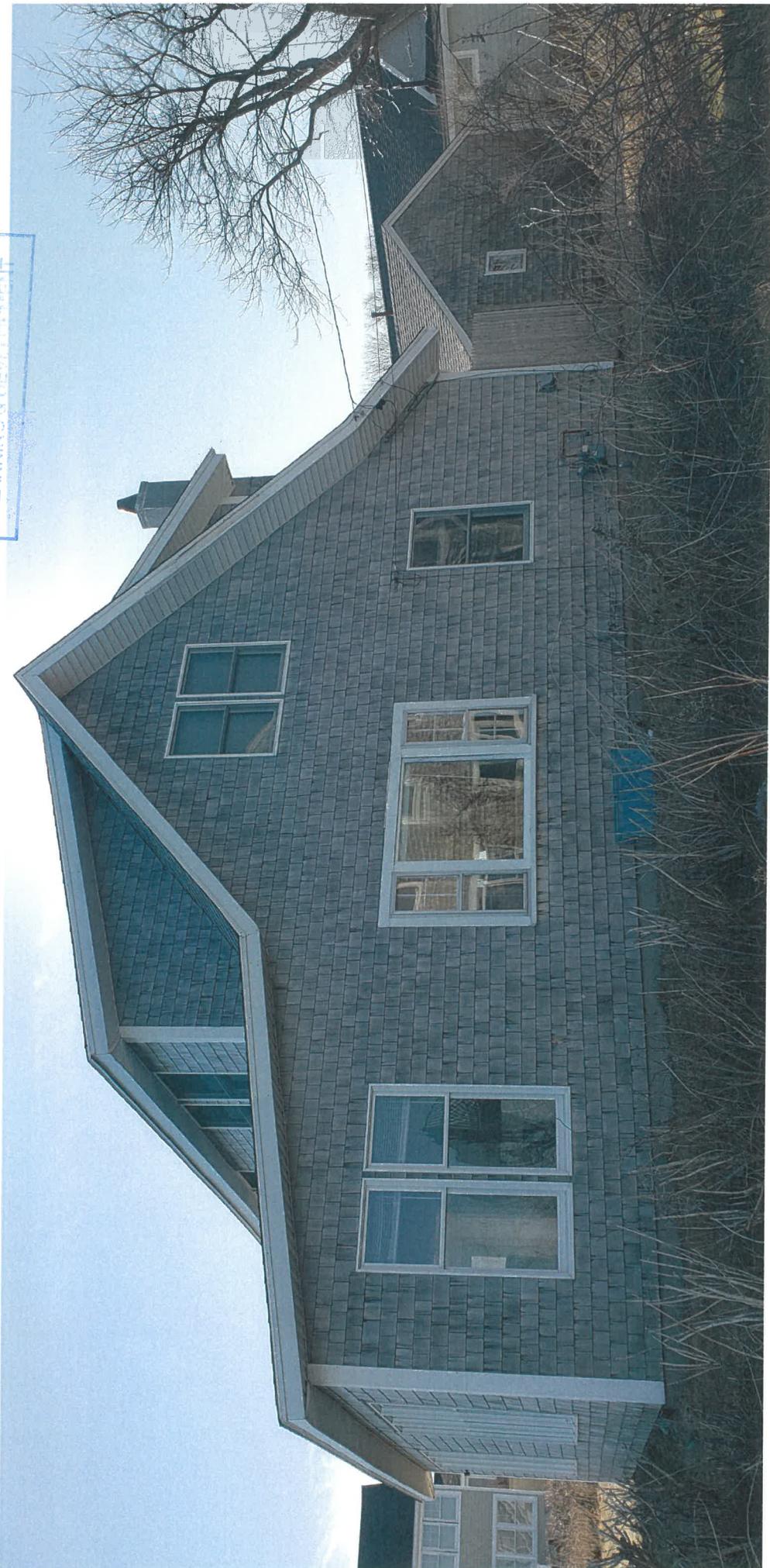


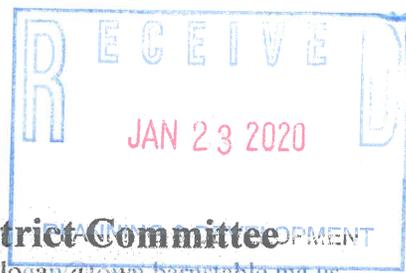
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JAN 23 2020  
PLANNING & DEVELOPMENT





**Barnstable Old Kings Highway Historic District Committee**  
200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

**APPLICATION, CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

*Check all categories that apply;*

- 1. Building construction:  New     Addition     Alteration
- 2. Type of Building:  House     Garage/barn     Shed     Commercial     Other
- 3. Exterior Painting, roof     new roof     color/material change, of trim, siding, window, door
- 4. Sign :     New Sign     Existing Sign     Repainting Existing Sign
- 5. Structure:     Fence     Wall     Flagpole     Retaining wall     Tennis court     Other
- 6. Pool     Swimming     Other man-made pool     Solar panels     Other

Type or Print Legibly:    Date 1.24.2020

*NOTE All applications must be signed by the current owner*

Owner (print): Joshua Garvey    Telephone #: 727.543.2116

Address of Proposed Work: 111 GEORGE ST    Village BNSTBL    Map Lot # 319/052

Mailing Address (if different) 10 DAIRY LN., UPTON, MA 01568

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done:  
Remove existing dwelling & Replace w/ new single family Home.

Agent or Contractor (print): ERT ARCHITECTS, INC    Telephone #: 508 362 8883

Address: 299 WHITE'S PATH SOUTH YARMOUTH, MA 02664

Contractor/Agent' signature: [Signature]

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p><b>This Certificate is hereby APPROVED / DENIED</b></p>
--	--

**CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies**

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) CONCRETE, MAX 12" EXP

Siding Type: Clapboard \_\_\_ shingle  other \_\_\_  
Material: red cedar \_\_\_ white cedar  other \_\_\_ Color: NATURAL

Chimney Material: SPLIT FACED STONE Color: \_\_\_\_\_

Roof Material: (make & style) ARCHITECTURAL ASPALT Color: BLACK

Roof Pitch(s): (7/12 minimum) SEE ELEVS (specify on plans for new buildings, major additions)

Window and door trim material: wood \_\_\_ other material, specify PVC

Size of cornerboards NA size of casings (1 X 4 min.) 1x4 color WHITE

Rakes 1st member 1x10 2nd member 1x4 Depth of overhang SEE ELEVS

Window: (make/model) MARVIN material FBGLS color WHITE  
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply): \* SDL  
true divided lights \_\_\_ exterior glued grills  grills between glass  removable interior \_\_\_ None \_\_\_

Door style and make: THERMATRUE material FBGLS Color: WHITE

Garage Door, Style CARRIAGE Size of opening 8x9 Material ALUM Color WHITE

Shutter Type/Style/Material: NA Color: \_\_\_\_\_

Gutter Type/Material: NA Color: \_\_\_\_\_

Deck material: wood \_\_\_ other material, specify \_\_\_\_\_ Color: \_\_\_\_\_

Skylight, type/make/model/: \_\_\_\_\_ material \_\_\_\_\_ Color: \_\_\_\_\_ Size: \_\_\_\_\_

Sign size: \_\_\_\_\_ Type/Materials: \_\_\_\_\_ Color: \_\_\_\_\_

Fence Type (max 6' ) Style \_\_\_\_\_ material: \_\_\_\_\_ Color: \_\_\_\_\_

Retaining wall: Material: \_\_\_\_\_

Lighting, freestanding \_\_\_\_\_ on building \_\_\_\_\_ illuminating sign \_\_\_\_\_

OTHER INFORMATION: \_\_\_\_\_



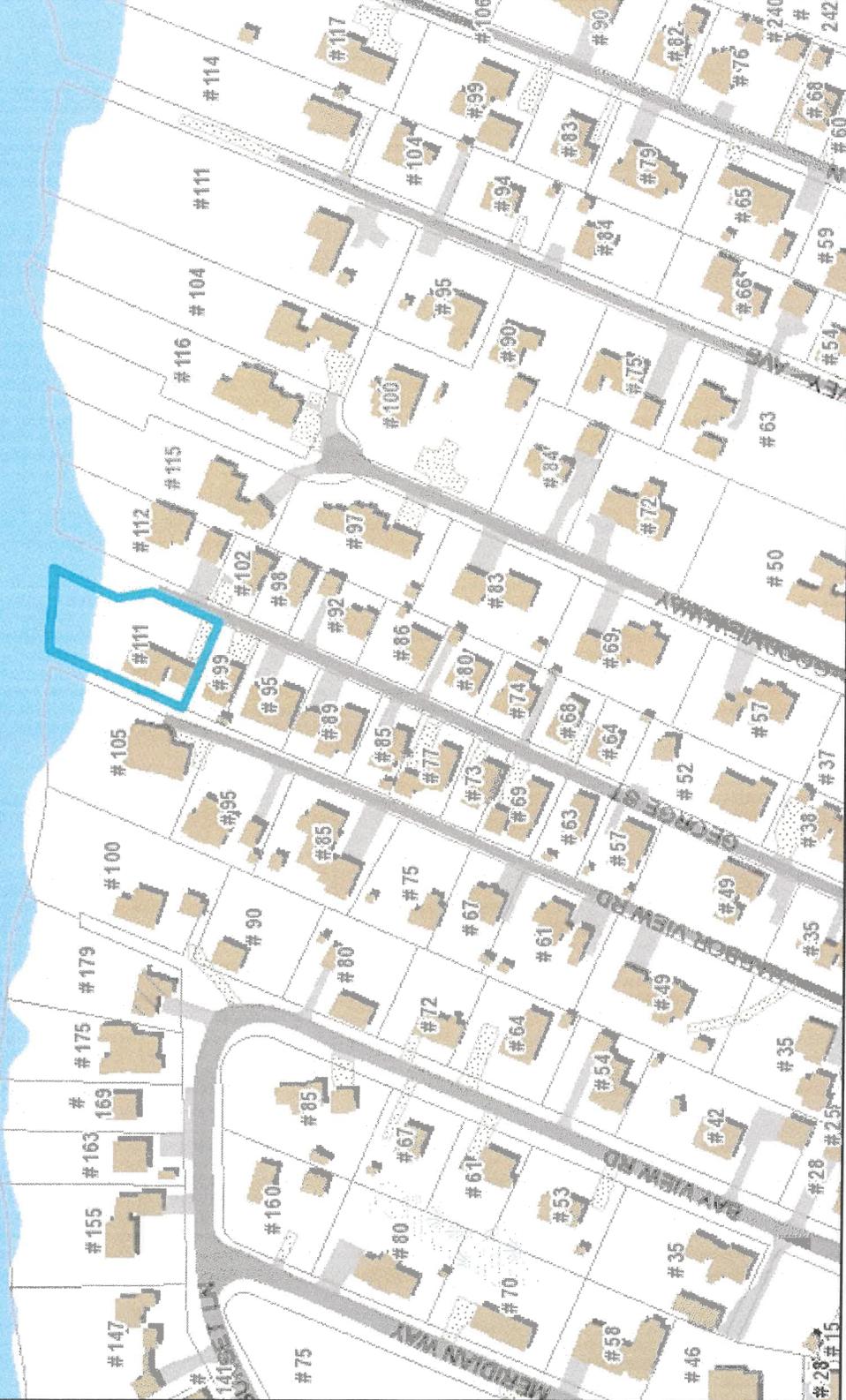
**THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED**

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name ERIK TOLLEY



Barnstable Harbor



**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Streams
- Marsh
- Water Bodies

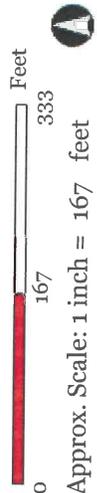


**Town of Barnstable GIS Unit**  
 367 Main Street, Hyannis, MA 02601  
 508-862-4624  
 gis@town.barnstable.ma.us

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Map printed on: 1/28/2020





Town of Barnstable GIS Unit  
367 Main Street, Hyannis, MA 02601  
508-862-4624  
gis@town.barnstable.ma.us



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This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Map printed on: 1/28/2020

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet

**ABUTTING PROPERTIES (PAGES 4-11)**

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6

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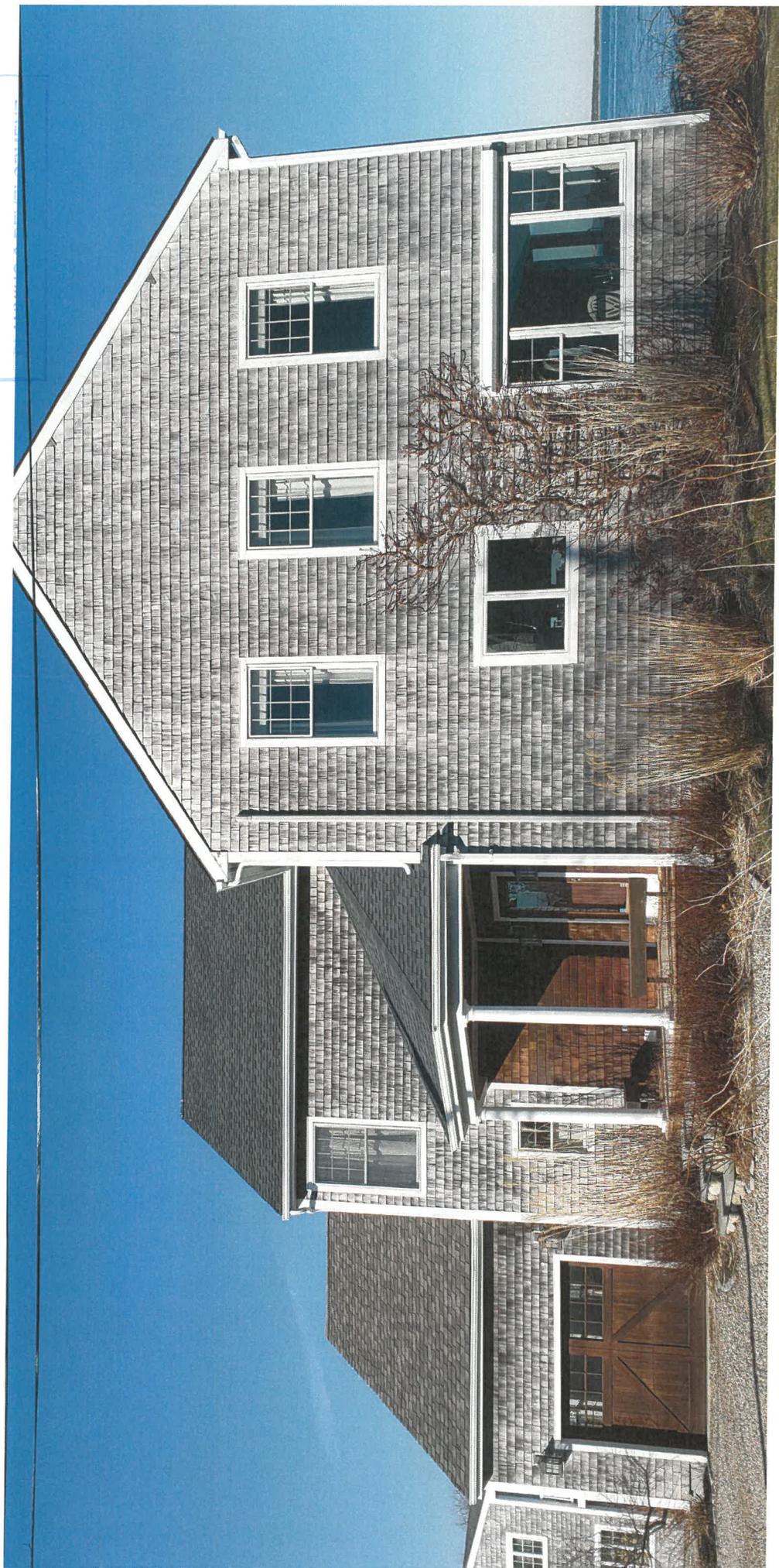
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**LOCUS MAP**  
NOT TO SCALE

CRAIG A. FIELD  
PROFESSIONAL LAND SURVEYOR

**PLAN OF LAND**

111 GEORGE STREET  
IN  
BARNSTABLE  
MASSACHUSETTS  
(BARNSTABLE COUNTY)

**PROPOSED DWELLING**

DECEMBER 19, 2019

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:  
JOSH GARVEY  
10 DAIRY DRIVE  
UPTON, MA 01568  
joshgarvey@clearplanconsulting.com

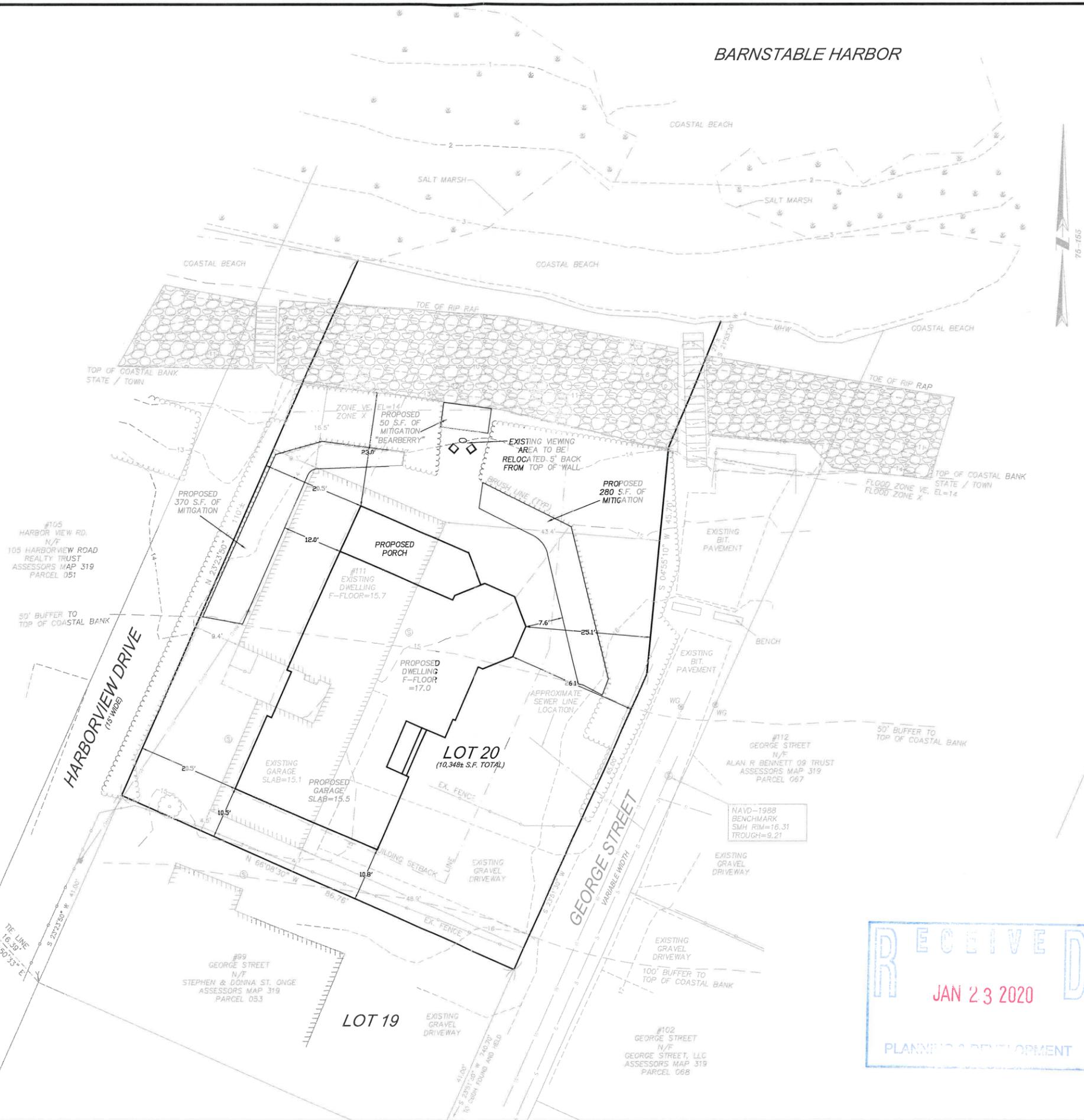
**BSC GROUP**  
349 Route 28, Unit D  
W. Yarmouth, Massachusetts  
02673  
508 778 8919

© 2019 BSC Group, Inc.  
SCALE: 1" = 10'  
0 5 10 20 FEET

FILE: ...Projects-YAR\5030400\50304-SP-1.dwg  
DWG. NO: 6587-02  
JOB. NO: 5-0304.00

SHEET 1 OF 1

**BARNSTABLE HARBOR**



**LOCUS INFORMATION**

CURRENT OWNER: RICHARD G. SMITH  
SHIRLEY L. SMITH

TITLE REFERENCE: DEED BOOK 13308, PAGE 063

PLAN REFERENCE: PLAN BOOK 75, PAGE 155

ASSESSORS MAP: 319  
PARCEL: 052

ZONING DISTRICT: RB  
FRONT SETBACK: 20'  
SIDE SETBACK: 10'  
REAR SETBACK: 10'

MINIMUM LOT SIZE: 43,560 S.F.  
EXISTING LOT AREA: 10,348±S.F. (TO MHW) (ZONING LOT AREA)

EXISTING UPLAND LOT AREA: 8,392±S.F. (TO FLOOD ZONE LINE)

EX. BUILDING COVERAGE: 1,668±S.F. (16.12%)

PROP. BUILDING COVERAGE: 2,067±S.F. (19.97%)

NITROGEN SENSITIVE ZONE: AP (TOWN SEWER AVAILABLE)

FEMA FLOOD ZONE DISTRICT: "X" (VE ALONG SHORE)

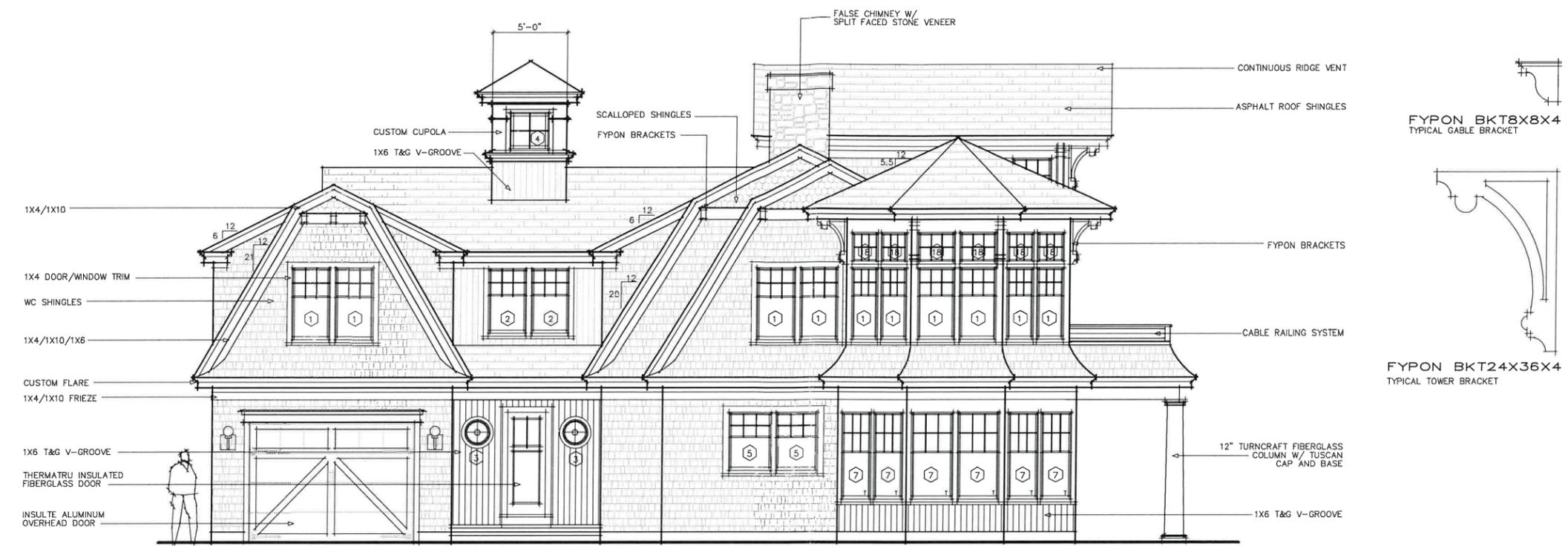
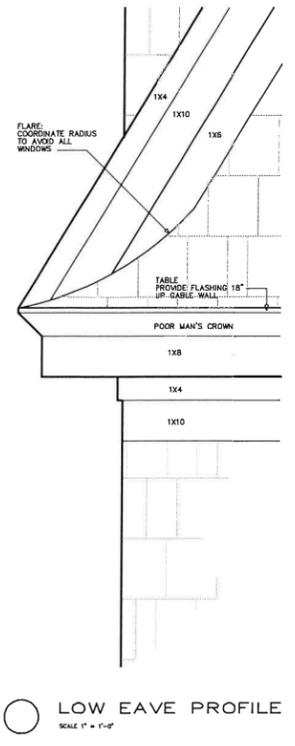
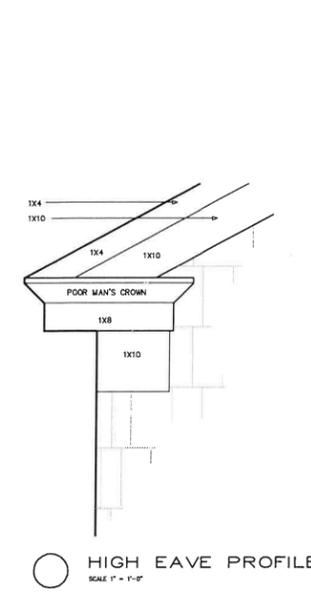
OVERLAY DISTRICT: O. K. H.

**ZONING SETBACKS**

REQ' SETBACK	EXISTING BLD	PROPOSED BLD
GEORGE STREET	20'	25.1' CONFORMS
SOUTH SIDE	10'	10.5' CONFORMS
HARBORVIEW DRIVE	20'	20.5' CONFORMS
OCEAN SIDE	10'	23.0' CONFORMS

**LEGEND**

- 50.9 X SPOT ELEVATION
- C.B. CATCH BASIN
- DMH DRAINAGE MANHOLE
- SMH SEWER MANHOLE
- TMH TELEPHONE MANHOLE
- LP LIGHT POLE
- UPL UTILITY POLE / LIGHT
- UPLT UTILITY POLE / LIGHT & TRANSFORMER
- UPT UTILITY POLE / TRANSFORMER
- UP UTILITY POLE
- OHW OVERHEAD ELECTRIC LINE
- EHH ELECTRIC HANDHOLE
- GMET GAS METER
- G GAS LINE
- G GAS GATE
- WG WATER GATE
- W WATER LINE



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architects interior designers builders

299 WHITES PATH  
SOUTH YARMOUTH,  
MASSACHUSETTS, 02664

tel (508) 342-8883  
(508) 740-2800

fax (508) 740-5800  
WWW.ERTARCHITECTS.COM

NEW  
RESIDENCE  
FOR

MR.  
JOSHUA  
GARVEY

111  
GEORGE  
STREET

BARNSTABLE,  
MA

PROJECT # 280919

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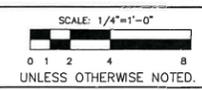
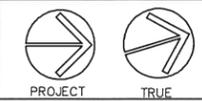
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REGISTRATION

REVISIONS

DATE: REVISIONS:

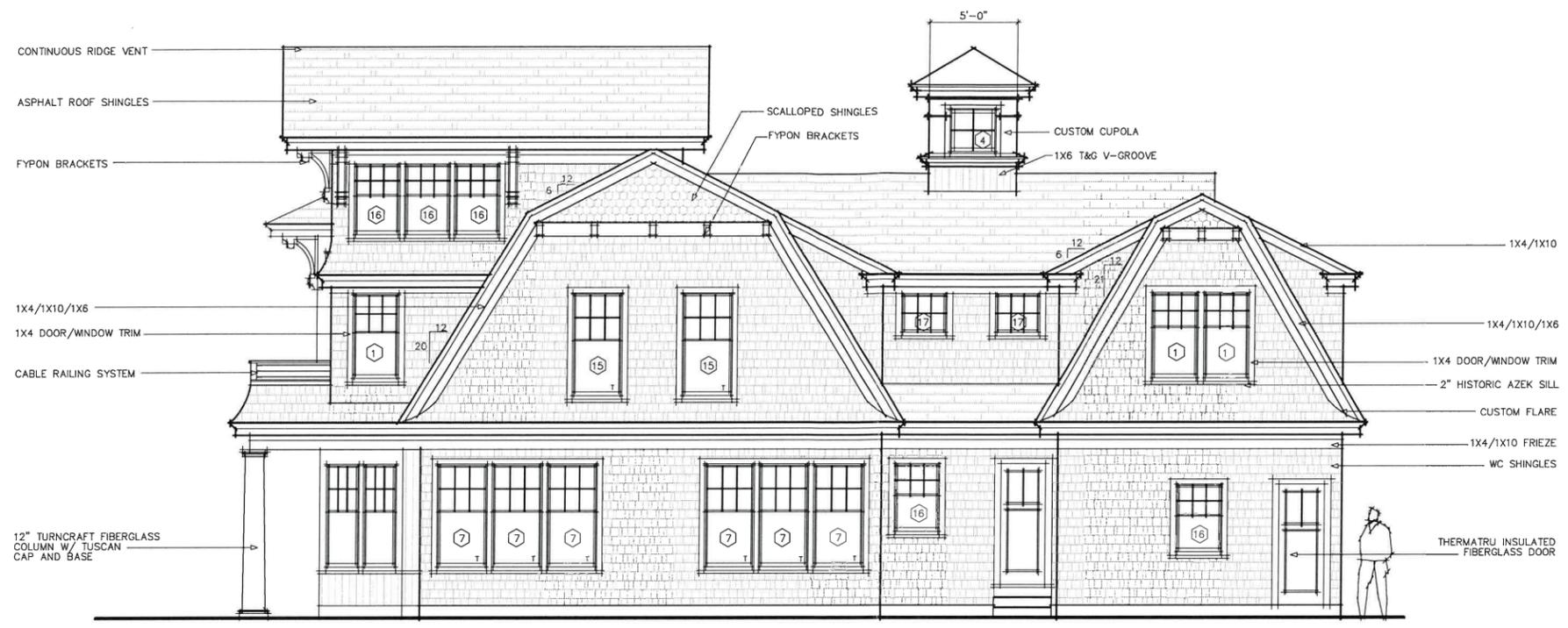
ISSUED FOR:  
DATE:



SHEET NO.  
A.3

TOTAL NUMBER OF SHEETS  
IN SET:  
X

THIS SHEET INVALID  
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A COMPLETE SET OF  
WORKING DRAWINGS

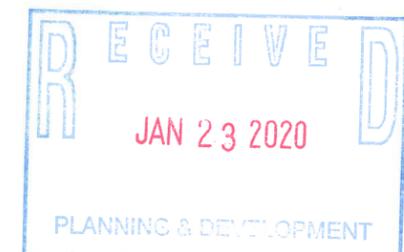


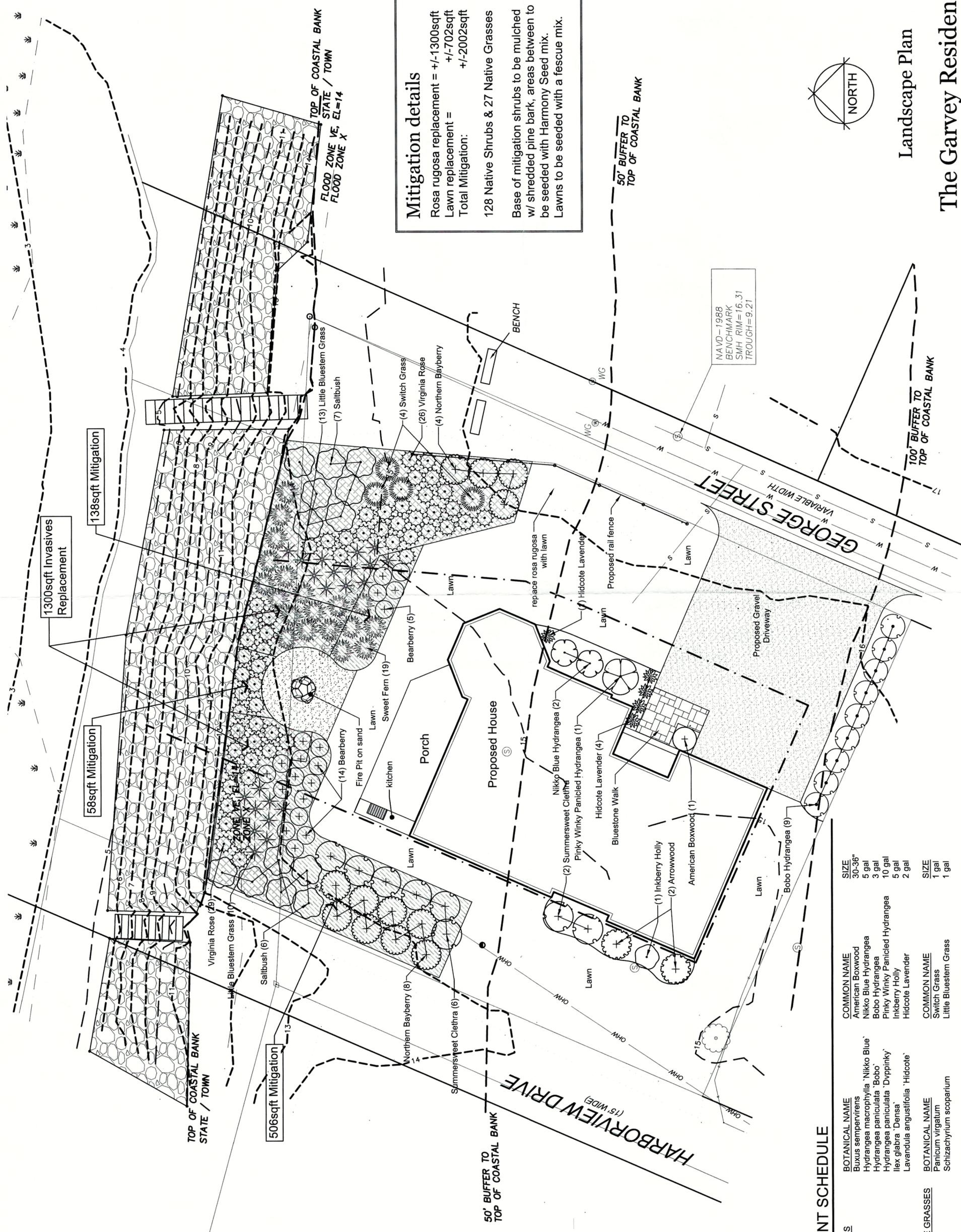
PROPOSED REAR/WEST ELEVATION



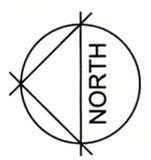
PROPOSED LEFT/SOUTH ELEVATION

MARK	MANUFACTURER	SERIES	SIZE	ROUGH OPENING
1	MARVIN	INTEGRITY	ITDH3060	2'-6 1/2" X 5'-0 1/4"
2	MARVIN	INTEGRITY	ITDH3052	2'-6 1/2" X 4'-4 1/4"
3	MARVIN	INTEGRITY	CUSTOM ROUND	18" DIAMETER
4	MARVIN	INTEGRITY	ICAP2927	2'-5" X 2'-3 5/8"
5	MARVIN	INTEGRITY	ITDH3448	2'-10 1/2" X 4'-0 1/4"
7	MARVIN	INTEGRITY	ITDH3472	2'-10 1/2" X 6'-0 1/4"
8	MARVIN	INTEGRITY	IIFD2868XR	2'-9 5/16" X 6'-10 1/2"
9	MARVIN	INTEGRITY	IIFD3070XR	3'-1 5/16" X 7'-2 1/2"
10	MARVIN	INTEGRITY	ISFD10068 OXXO	9'-10" X 6'-10 1/2"
11	MARVIN	INTEGRITY	ISFD10070 OXXO	9'-10" X 7'-2 1/2"
13	MARVIN	INTEGRITY	IAWN2923	2'-5" X 1'-11 5/8"
14	MARVIN	INTEGRITY	ITDH3064	2'-6 1/2" X 5'-4 1/4"
16	MARVIN	INTEGRITY	ITDH3048	2'-6 1/2" X 4'-0 1/4"
17	MARVIN	INTEGRITY	IAWN3327	2'-9" X 2'-3 5/8"
18	MARVIN	INTEGRITY	ITDHTR3024	2'-6 1/2" X 2'-0 1/4"



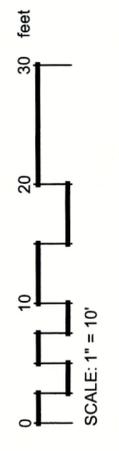


**Mitigation details**  
 Rosa rugosa replacement = +/-1300sqft  
 Lawn replacement = +/-702sqft  
 Total Mitigation: +/-2002sqft  
 128 Native Shrubs & 27 Native Grasses  
 Base of mitigation shrubs to be mulched w/ shredded pine bark, areas between to be seeded with Harmony Seed mix.  
 Lawns to be seeded with a fescue mix.



Landscape Plan

**The Garvey Residence**  
 111 George St., Barnstable  
 By: Philip L. Cheney 508-394-1373  
 Scale: 1" = 10'-0" 1/9/2020



**PLANT SCHEDULE**

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
1	Buxus sempervirens	American Boxwood	30-36"
2	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	5 gal
9	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	3 gal
1	Hydrangea paniculata 'Dyppinky'	Pinky Winky Plicated Hydrangea	10 gal
1	Ilex glabra 'Densa'	Inkberry Holly	5 gal
5	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	2 gal
NATIVE GRASSES	BOTANICAL NAME	COMMON NAME	SIZE
4	Panicum virgatum	Switch Grass	1 gal
23	Schizachyrium scoparium	Little Bluestem Grass	1 gal
NATIVE SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
19	Arctostaphylos uva-ursi	Bearberry	1 gal
13	Baccharis halimifolia	Saltbush	3 gal
8	Clethra alnifolia	Summersweet Clethra	3 gal
19	Comptonia peregrina	Sweet Fern	3 gal
12	Myrica pennsylvanica	Northern Bayberry	3 gal
55	Rosa virginiana	Virginia Rose	2 gal
2	Viburnum dentatum	Arrowwood	3 gal

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**LOCUS INFORMATION**

CURRENT OWNER: RICHARD G. SMITH  
SHIRLEY L. SMITH

TITLE REFERENCE: DEED BOOK 13308, PAGE 063

PLAN REFERENCE: PLAN BOOK 75, PAGE 155

ASSESSORS MAP: 319  
PARCEL: 052

ZONING DISTRICT: RB  
SETBACKS: FRONT 20'  
SIDE 10'  
REAR 10'

MINIMUM LOT SIZE: 43,560 S.F.

EXISTING LOT AREA: 10,348±S.F. (TO MHW) (ZONING LOT AREA)

EXISTING UPLAND LOT AREA: 8,392±S.F. (TO FLOOD ZONE LINE)

EX. BUILDING COVERAGE: 1,668±S.F. (16.12%)

PROP. BUILDING COVERAGE: 2,012±S.F. (19.44%)

NITROGEN SENSITIVE ZONE: AP (TOWN SEWER AVAILABLE)

FEMA FLOOD ZONE DISTRICT: "X" (VE ALONG SHORE)

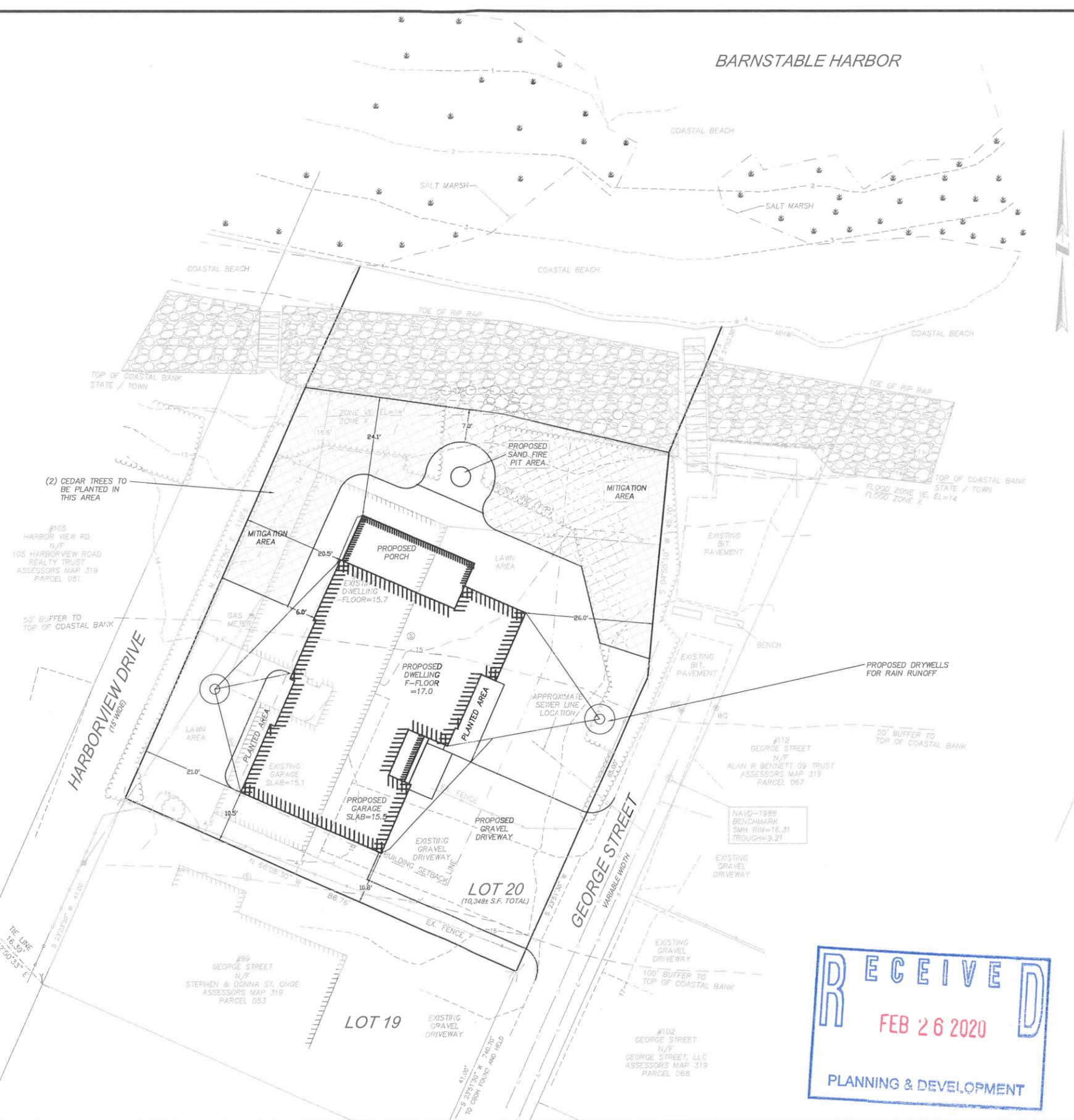
OVERLAY DISTRICT: O. K. H.

**ZONING SETBACKS**

REQ' SETBACK	EXISTING BLD	PROPOSED BLD
GEORGE STREET	20'	43.4'
SOUTH SIDE	10'	4.5'
HARBORVIEW DRIVE	20'	9.3'
OCEAN SIDE	10'	16.5'

**LEGEND**

- 50.9 X SPOT ELEVATION
- C.B. CATCH BASIN
- DMH DRAINAGE MANHOLE
- SMH SEWER MANHOLE
- TMH TELEPHONE MANHOLE
- LP LIGHT POLE
- UPL LIGHT POLE / LIGHT
- UPLT LIGHT POLE / LIGHT & TRANSFORMER
- UPT UTILITY POLE / TRANSFORMER
- UP UTILITY POLE
- OHW OVERHEAD ELECTRIC LINE
- EHH ELECTRIC HANDHOLE
- GMET GAS METER
- G GAS LINE
- SG GAS GATE
- WG WATER GATE
- W WATER LINE



KIERAN J. HEALY DATE  
PROFESSIONAL LAND SURVEYOR

**PLAN OF LAND**

111 GEORGE STREET  
IN  
BARNSTABLE MASSACHUSETTS  
(BARNSTABLE COUNTY)

**PROPOSED DWELLING**

DECEMBER 19, 2019

**REVISIONS:**

NO.	DATE	DESC.
1	2-25-20	MODIFY PORCH

PREPARED FOR:  
JOSH GARVEY  
10 DAIRY DRIVE  
UPTON, MA 01568  
joshgarvey@clearplanconsulting.com

**BSC GROUP**  
349 Route 28, Unit D  
W. Yarmouth, Massachusetts  
02673 508 778 8919

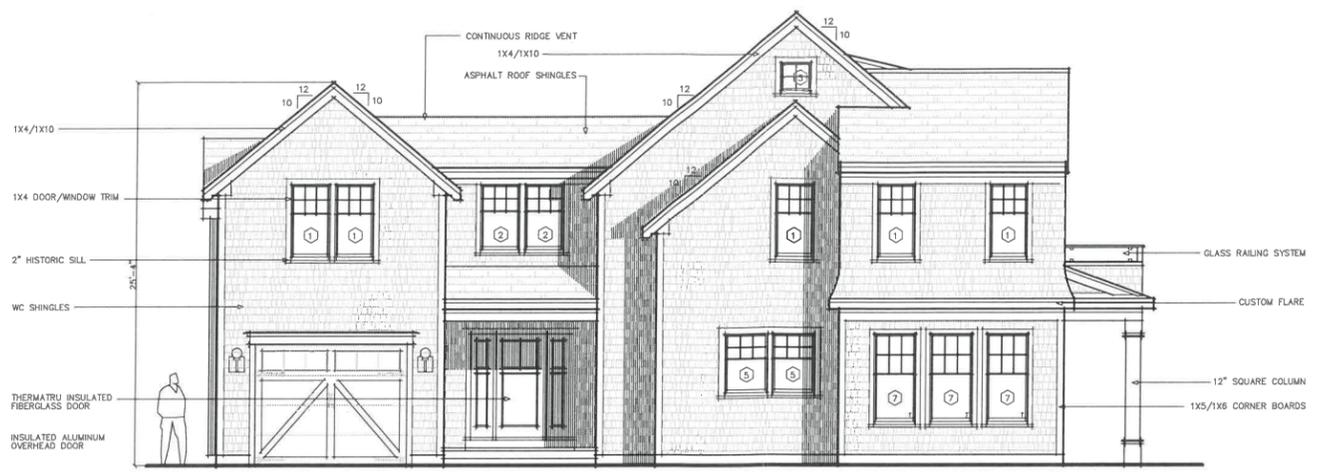
© 2019 BSC Group, Inc.  
SCALE: 1" = 10'  
FILE: \\Projects-YAR\5030400\50304-SP-1.dwg  
DWG. NO: 6587-02 SHEET 1 OF 1  
JOB. NO: 5-0304.00



RECEIVED

FEB 26 2020

PLANNING & DEVELOPMENT



PROPOSED FRONT/EAST ELEVATION



PROPOSED LEFT/SOUTH ELEVATION



PROPOSED RIGHT/NORTH ELEVATION



PROPOSED REAR/WEST ELEVATION

MARK	MANUFACTURER	SERIES	SIZE	ROUGH OPENING
①	MARVIN	INTEGRITY	ITDH3060	2'-6 1/2" X 5'-0 1/4"
②	MARVIN	INTEGRITY	ITDH3052	2'-6 1/2" X 4'-4 1/4"
③	MARVIN	INTEGRITY	IWIN2523	2'-1" X 1'-11 5/8"
④	MARVIN	INTEGRITY	ITDH3448	2'-10 1/2" X 4'-0 1/4"
⑤	MARVIN	INTEGRITY	ITDH3472	2'-10 1/2" X 6'-0 1/4"
⑥	MARVIN	INTEGRITY	ITDH2244	1'-10 1/2" X 3'-8 1/4"
⑦	MARVIN	INTEGRITY	ITDH3044	2'-6 1/2" X 3'-8 1/4"
⑧	MARVIN	INTEGRITY	ISFD10068 OXK0	9'-10" X 6'-10 1/2"
⑨	MARVIN	INTEGRITY	ISFD10070 OXK0	9'-10" X 7'-2 1/2"
⑩	MARVIN	INTEGRITY	ITDH3064	2'-8 1/2" X 5'-4 1/4"
⑪	MARVIN	INTEGRITY	ITDH3048	2'-6 1/2" X 4'-0 1/4"
⑫	MARVIN	INTEGRITY	IWIN3327	2'-9" X 2'-3 5/8"

**ERT**  
architects  
*life well designed*  
architects interior designers builders

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WWW.ERTARCHITECTS.COM

NEW  
RESIDENCE  
FOR

MR.  
JOSHUA  
GARVEY

111  
GEORGE  
STREET

BARNSTABLE,  
MA

PROJECT # 280919

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REGISTRATION

REVISIONS

DATE:	REVISIONS:

ISSUED FOR:  
DATE:

PROJECT TRUE

SCALE: 3/16"=1'-0"  
UNLESS OTHERWISE NOTED.

SHEET NO.  
**A.3**

TOTAL NUMBER OF SHEETS  
IN SET:  
**X**

THIS SHEET INVALID  
UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS