

OLD KINGS HIGHWAY –MEETING MATERIALS
DECEMBER 16, 2020 @ 6:30PM

Table of Contents

| | |
|-----|------------------------------|
| 2 | Agenda |
| 4 | 56 Bursley Path |
| 39 | 1525 Hyannis Road |
| 64 | 1536 Hyannis Road |
| 78 | 29 Salten Point Road |
| 93 | 3485 Main Street |
| 108 | 75 Harvey Avenue |
| 123 | 273 Millway |
| 135 | 63 Marble Road |
| 149 | 121 Lombard Avenue |
| 158 | 45 Second Way |
| 166 | 17 Iris Lane |
| 177 | Minutes - September 23, 2020 |
| 182 | Minutes – October 28, 2020 |
| 186 | Minutes – November 18, 2020 |



Town of Barnstable

Old King's Highway Historic District Committee

www.town.barnstable.ma.us/OldKingsHighway

AGENDA

Wednesday, December 16, 2020, 6:30pm

The Old King's Highway Historic District Committee will be held by remote participation methods as a result of the COVID-19 state of emergency in the Commonwealth of Massachusetts.

Alternative public access to this meeting shall be provided in the following manner:

1. Real-time access to the Old King's Highway Historic District meeting is available utilizing the Zoom link or telephone number and Meeting ID provided below. Public comment can be addressed to the Old King's Highway Historic District Committee by utilizing the Zoom link or telephone number and Meeting ID provided below:

Link: Join Zoom Meeting <https://zoom.us/j/97040765037>

Phone: 1- 888-475-4499 and entering Meeting ID: 97040765037

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Applicants, their representatives and individuals required or entitled to appear before the Old King's Highway Historic District Committee may appear remotely and are not permitted to be physically present at the meeting, and may participate through accessing the link or telephone number provided above. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to erin.logan@town.barnstable.ma.us so that they may be displayed for remote public access viewing.

Plans and applications may be reviewed by calling Erin Logan at 508.862.4787 or by emailing erin.logan@town.barnstable.ma.us

To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing will be held on the following applications:

APPLICATIONS

McCullough, Rachael, 56 Bursley Path, West Barnstable, Map 110, Parcel 025/005, vacant land

Construct new 2,300sqft single family home with attached 2-car garage

Bishop, Craig, 1525 Hyannis Road, Barnstable, Map 298, Parcel 007, built 1929

Construct addition at the west elevation including alterations to all elevations; West elevation – removal of several windows as well as the existing deck and fence to allow for the addition. Alterations include the removal of several windows as well as door and changes to the roof line

Green, Eric & Jessica, 1536 Hyannis Road, Barnstable, Map 298, Parcel 021/001, vacant land

Construct 2,696 sqft single family home including in-ground pool with black aluminum fencing

Hower, Robert & Kira, 29 Salten Point Road, Barnstable, Map 280, Parcel 009, built 1950

New windows, doors, new siding (match existing), new solar panels on south facing roof

Leary, Kristin, & Silber, Jeffrey, 3485 Main Street, Barnstable, Map 317, Parcel 004/001, built 1900, contributing structure in the Old King's Highway Historic District

Construct a screened porch, pool cabana, pool, fence and retaining wall

Ruggiero, Richard & Janet, 75 Harvey Avenue, Barnstable, Map 319, Parcel 099, built 1990

Construct 24'X8' front porch, add 12.4'X12' rear addition, add rear dormer to accommodate new interior staircase

Venditti, Paul S., Trustee, 273 Millway, Barnstable, Map 301, Parcel 007, built 1960

Replace 45 double hung windows on the rear and sides of the building

Robichaud, Stephen, 63 Marble Road, Barnstable, Map 316, Parcel 033, built 1983

Construct new deck on the north side of the main structure using pressure treated lumber with mahogany decking, construct allen block retaining wall

Sylver, Kevin & Jessica, 121 Lombard Avenue, West Barnstable, Map 155, Parcel 005/002, built 1996

Replace roof in-kind, replace cedar shingles with new natural shingles, replace cedar shingles on the front with Allura fiber cement board (clapboard) in Pacific Blue

Macphail, Douglas, 45 Second Way, Barnstable, Map 301, Parcel 056, built 1951

Construct 12'X16' shed with asphalt roof and shiplap siding

Tavano, Nicholas & Salmon, Ashley, 17 Iris Lane, Barnstable, Map 334, Parcel 050, built 2000

Install a 16'X32' in-ground swimming pool with a 6' stockade fence along the front and a 5' black aluminum fence around the pool

MINOR MODIFICATION

OTHER *Matters not reasonably anticipated by Chair*

APPROVAL OF MINUTES

September 23, 2020

October 28, 2020

November 18, 2020

NEXT MEETING DATES

January 13, 2021 & January 27, 2021

Please Note: The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda. * Public files are available for viewing during normal business hours at the Old King's Highway Historic District office located at 200 Main Street, Hyannis, MA



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: New Addition Alteration
2. Type of Building: House Garage/barn Shed Commercial Other
3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
4. Sign: New Sign Existing Sign Repainting Existing Sign
5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 10/27/20

NOTE: All applications must be signed by the current owner

Owner (print): Rachael McCullough Telephone #: 508-737-9096

Address of Proposed Work: 56 Brasley Path Village _____ Map Lot # 34

Mailing Address (if different) _____

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: Construction of New Home

Agent or Contractor (print): J.D. Sullivan Builders Telephone #: 508-728-4821

Address: 39 Desires Ln West Barnstable MA 02668 Email: jsullivan@jdsullivanbuilders.com

Contractor/Agent's signature: [Signature]

For committee use only This Certificate is hereby **APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit **5 copies**

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Concrete

Siding Type: Clapboard shingle other _____
Material: red cedar _____ white cedar _____ other _____ Color: _____

Chimney Material: NA Color: _____

Roof Material: (make & style) Asphalt Architects Color: Weathered wood

Roof Pitch(s): (7/12 minimum) 8 (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify Azel 3/4"

Size of cornerboards 6" size of casings (1 X 4 min.) 4" color white

Rakes 1st member 1x6 2nd member 1x3 Depth of overhang 8" min

Window: (make/model) Harvey/Clase material Vinyl color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):

true divided lights _____ exterior glued grills _____ grills between glass removable interior _____ None _____

Door style and make: Colonial w/ side lights material Fiberglass Color: Red

Garage Door, Style Shaker Size of opening 9' Material metal Color white

Shutter Type/Style/Material: Raised Panel vinyl Color: Blue

Gutter Type/Material: 6" Aluminum Color: white

Deck material: wood other material, specify mahogany Color: clear

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name _____

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties, (1 copy only)
A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 _____ sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 2300 sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 2800 sq. ft. Building 2 _____



SLIMLINE

Double Hung



Options

GLASS



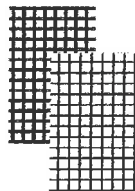
SunGain HSHG
ThermoGuard

SCREEN FRAME



Rollform
Aluminum
FlexScreen

SCREEN MESH



Fiberglass
VIEWS

EXTERIOR COLORS



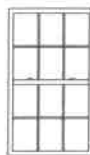
White
(Standard)

GRID TYPE

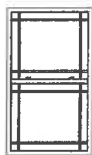


GBG

GRID STYLE



Colonial



Prairie

HARDWARE COLORS



White
(Standard)

Features

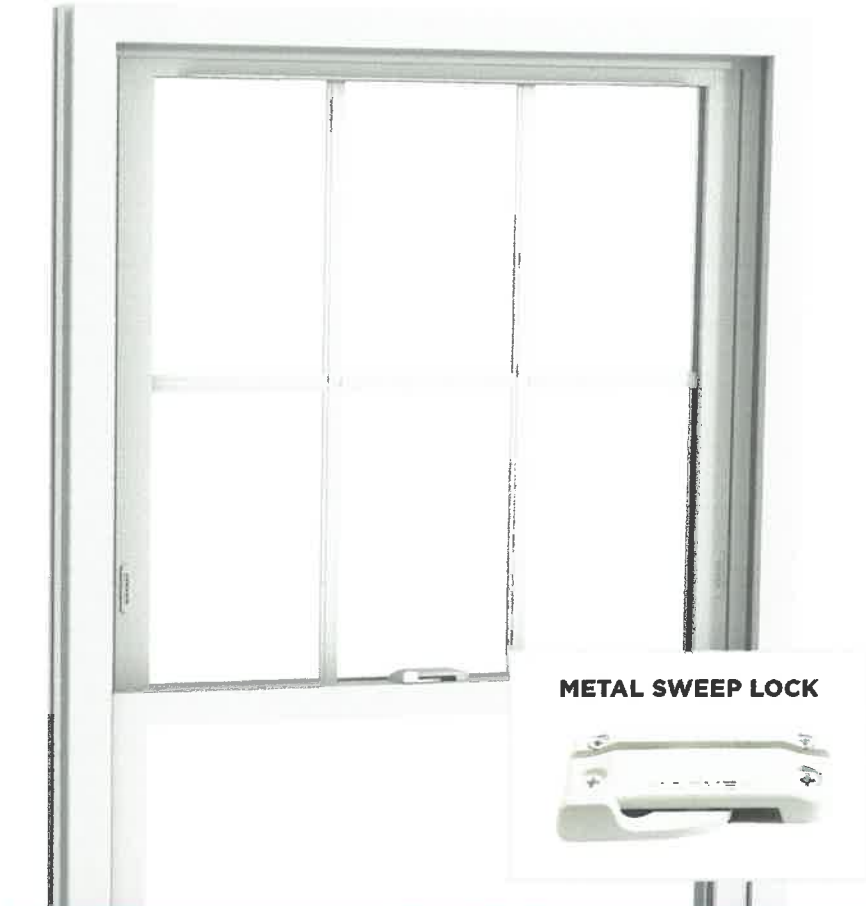
Slimmer, fully-welded sash and frame that maximizes view

Low profile sweep lock

Double locks are standard on widths of $\geq 30"$

Available in single hung





| WINDOW STYLE | MIN (W) | MIN (H) | MAX (W) | MAX (H) | MAX UI |
|--------------------|---------|---------|---------|---------|--------|
| Single/Double Hung | 16-1/4" | 26-1/4" | 45-3/4" | 77" | 116" |

REPLACEMENT

3-1/4" jamb depth

Adjustable vinyl sill extender and head expander included

NEW CONSTRUCTION

Extension jambs available for 4-9/16" and 6-9/16" wall depths

Integral L or J fin available

OTHER OPTIONS

Grids come in 5/8"

Custom grid configurations plus oriel & cottage sash options

Full and half size screens

Exterior Factory Applied Casing: Flat & 908 Brickmould, with or without sill nose

Interior Trim Kits

STRUCTURAL DATA

| Unit Size W x H | Configuration | Air Infiltration cfm/ft ² | Water Resistance psf | Structural Test Pressure psf | DP Rating | Structural Rating |
|--------------------|---------------|---|-------------------------|------------------------------------|-----------|-------------------|
| 46" x 77" | Single | 0.01 | 4.59 | 45.11 | DP30 | H-LC30 |
| 40" x 63"††† | Single | 0.01 | 7.52 | 75.19 | DP50 | H-LC50 |

† Reinforced sash

THERMAL DATA

| Glazing Description | NO GRIDS Thermal Performance | | | WITH GRIDS Thermal Performance | | | ENERGY STAR® Zone Compliance | | |
|---------------------------------------|------------------------------------|------|------|--------------------------------------|------|------|---------------------------------|----|--|
| | U | SHGc | VT | U | SHGc | VT | N80 | | |
| SunGain™ High Solar Heat Gain Package | 0.30 | 0.51 | 0.82 | 0.30 | 0.46 | 0.55 | | | |
| ThermaGuard Low-E | 0.30 | 0.31 | 0.57 | 0.30 | 0.28 | 0.50 | | NC | |
| Low-E | 0.33 | 0.32 | 0.57 | 0.33 | 0.29 | 0.50 | | | |
| Clear | 0.47 | 0.61 | 0.84 | 0.47 | 0.54 | 0.57 | | | |

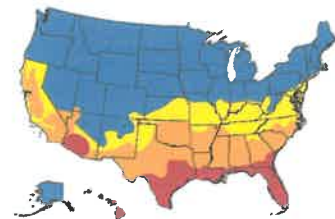
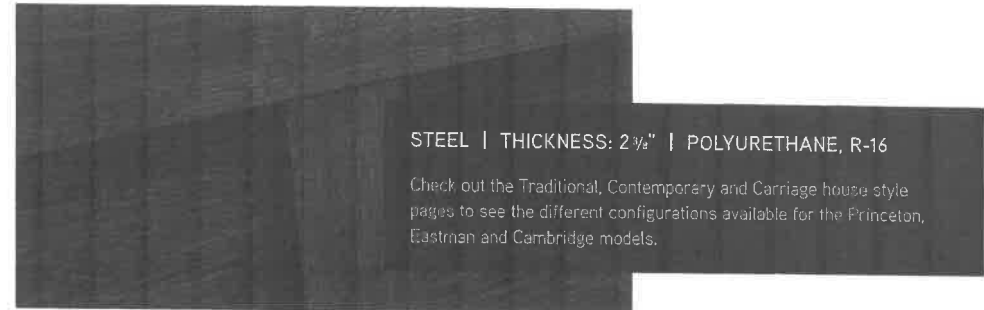
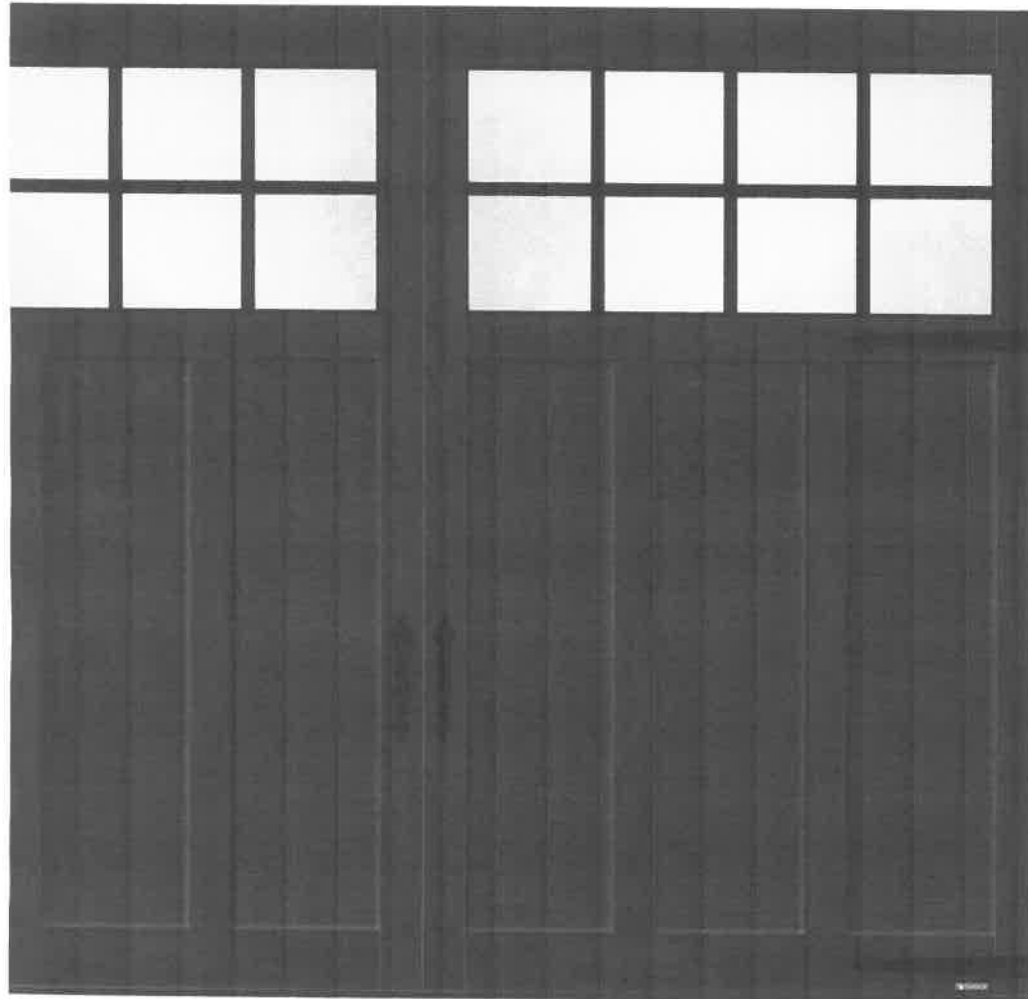


Chart represents thermal values for replacement/Integral J frame windows with Krypton or Argon gas fill for most glass packages. Gas fill not available with clear glass. U-factor in accordance with NFRC-100 and based on whole window values. Performance values shown are for "Single Strength" glass, unless otherwise noted. Performance with "Double Strength" glass, different reinforcement levels, may vary. Performance with 1" grids may vary. Select glass types shown — others are available subject to special inquiry.

A bit more technical...

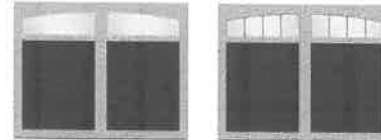


STEEL | THICKNESS: 2 3/8" | POLYURETHANE, R-16

Check out the Traditional, Contemporary and Carriage house style pages to see the different configurations available for the Princeton, Eastman and Cambridge models.

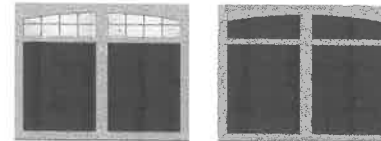
ARCH OVERLAY¹

Available for Princeton and Eastman
Always installed in the top section and only available with Panoramic windows or without windows



Clear Panoramic without grids

4 vertical lites Panoramic

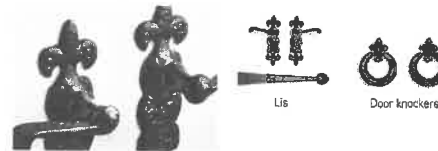


8 lites Panoramic

Without windows*

DECORATIVE HARDWARE²

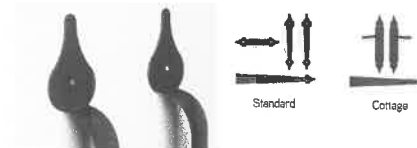
Handmade wrought Iron texture



Lites

Door knockers

Slightly bumpy texture



Standard

Carriage

¹ Arch Overlay is not available in Chocolate Walnut and Iron Ore Walnut

² "Without windows" option is not available for Princeton

³ Available for Princeton and Eastman

⁴ Visit garaga.com/premiumcolors to learn more about Garaga's Premium Colors

PANEL COLORS

Standard



Ice White

Desert Sand

Claystone



Dark Sand

Moka Brown

Premium⁴



Charcoal

Evergreen

Black



Chocolate Walnut

Iron Ore Walnut

GENTEK.
CENTRAL BUILDING PRODUCTS
Visit garaga.com/gentek to see Gentek's equivalent aluminum capping

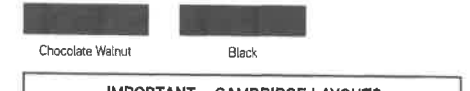
OVERLAY COLORS



Ice White

Desert Sand

Claystone



Chocolate Walnut

Black

IMPORTANT - CAMBRIDGE LAYOUTS

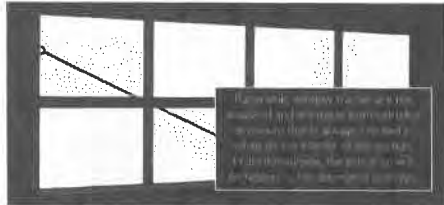
Due to the architecture, section heights are not identical.



WINDOWS

Panoramic, Orion and Types of Glass windows can only be installed in the top section.

Panoramic



The squares widths vary depending on the design and size of the chosen door. Note that no matter what door color you choose, the inside of the Panoramic section is always White.



Without grids (with Clear, Sandblasted or Pinhead)

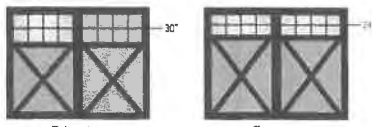


4 vertical lites (with Clear or Sandblasted glass)



8 lites (with Clear or Sandblasted glass)

EXAMPLE OF PANORAMIC FOR PRINCETON AND EASTMAN



Princeton Eastman

SIZES

Widths from 6' to 18', in 1" increments. Heights in 3" increments; Eastman and Cambridge from 6'6" to 8', Princeton from 7' to 8'. See your garage door dealer for more details on oversized doors available.

WARRANTY

Door sections: limited lifetime
Windows: 10 years against seal defects
1 year for thermal break
Dura+ hardware: 2 years

Decorative PVC moldings:
10 years (discoloration)
5 years (delamination)
Weatherstripping: 1 year

¹Not available for Cambridge CM and CS layouts
²Not available for Cambridge and Princeton layouts

³Clear 40" x 13" thermopane glass is also available with the Low-E Argon energy option.

Orion (40" x 13")²

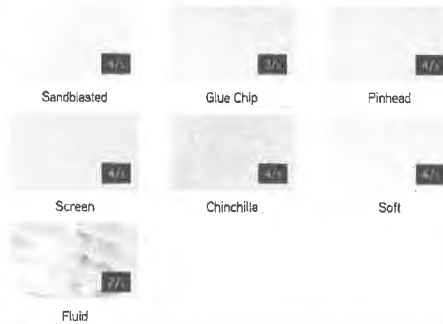


Types of glass (40" x 13")²

Privacy Level: X/A



Clear¹



COORDINATES WITH

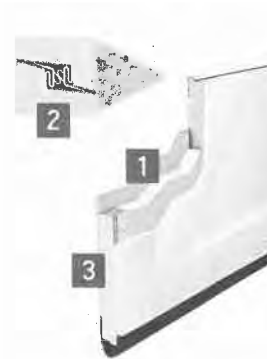
Navatech

Garaga is proud to collaborate with the entry door manufacturer Navatech so we can offer products that go together perfectly.

See what coordinates with our garage doors and window, visit garaga.com/navatech or scan the QR code.



Navatech



GARAGA CONSTRUCTION MAKES ALL THE DIFFERENCE

3 layers, polyurethane insulation

- 1 Polyurethane insulation acts as a thermal break to prevent transfer of cold or heat
- 2 InterLok™ joints block air infiltration for superior thermal insulation
- 3 Wood end blocks are one of the most effective thermal breaks



R-16 construction



In garage door comparison is the GARAGA way. Hands down. Watch our 45-second videos at garaga.com/lab.



To save energy, all components of a garage door must be taken into consideration (joints between sections, weatherstripping, end blocks, etc.) and not just its thermal resistance R-value as that only refers to the construction of the sections.



PATIO DOOR Options



Blinds Between Glass

Blinds Between Glass offer an easy and convenient way to enjoy the look and privacy of conventional blinds with none of the hassle, which makes them the perfect add-on for Harvey Vinyl Patio doors.

Energy Star 6.0 glass included. Available for Harvey solid vinyl patio door only. 2-4 lite configurations have the option for fiberglass screen. Not available with grids.

Benefits Include:

PRIVACY

BBG are adjustable and can be raised, lowered and tilted

LIGHT CONTROL

Allowing the sun in, or not, helps control household temperature

CONVENIENCE

Minimal reaching and stooping to operate the blinds

SAFETY

Cords and blinds are encased providing safety for children and pets

DÉCOR

Clean, efficient look with no need for bulky window treatments

NO DUSTING

Conventional blinds attract dust and are difficult to clean; Blinds Between Glass solve both these problems!

OPTIONS

Painted finishes available (blinds remain White)

Non-keyed handle set and flushmount deadbolt included

610 heights available; Custom sizes available

CONFIGURATIONS

1 lite: 2668 and 3068

2 lite: 5068 and 6068 XO AND OX

3 lite: 9068 OXO (left and right), and XOO/OOX

4 lite: 10068 and 12068 OXXO



SETUP/EXTERIOR CASING VINYL

Frame set-up only or fully set-up (frame & panels) available on any 2-wide door

Exterior Factory 908 or 3" flat

- ▶ Includes frame set-up
- ▶ Not available on non set-up doors or patio doors with transoms

OTHER OPTIONS VINYL

Multi-point lock options utilize 4 locking "claws" that engage simply by turning the knob

Grids come in 5/8" and 1" sizes

OTHER OPTIONS MAJESTY

Grids come in 3/4" or 1" for GBG and 7/8" or 1-1/4" for SDL

Foot bolt (Gliding)

Bronze sill

OTHER OPTIONS VINYL & MAJESTY

Custom grid configuration available

Double-active doors require two screens

Seacoast Hardware option for corrosion resistance; available in white or almond color-matched powder coat finish handle and includes Stainless Steel:

- ▶ Panel and screen rollers and roller track cover
- ▶ Fasteners, latch mechanism, offset keeper

Majesty & Vinyl

ENERGY STAR GLASS



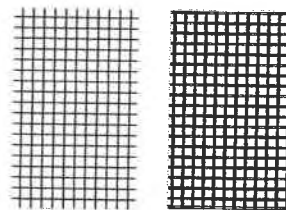
- ◆ ThernaLock
- ThernaGuard
- ThernaLock 3X HPTG

SCREEN | FRAME



Aluminum

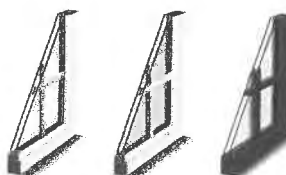
SCREEN | MESH



IEWS

Aluminum (Vinyl)
Fiberglass (Majesty)

GRID | TYPE

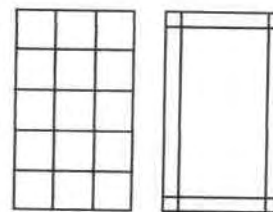


GBG

Exterior Applied

SDL

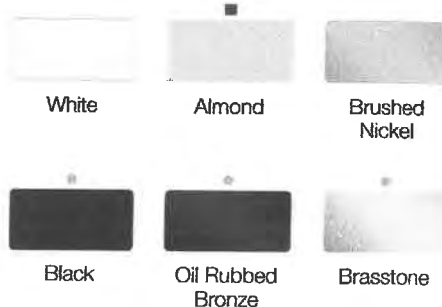
GRID | STYLE



Colonial

Prairie

COLORS | HARDWARE



White

Almond

Brushed Nickel

Black

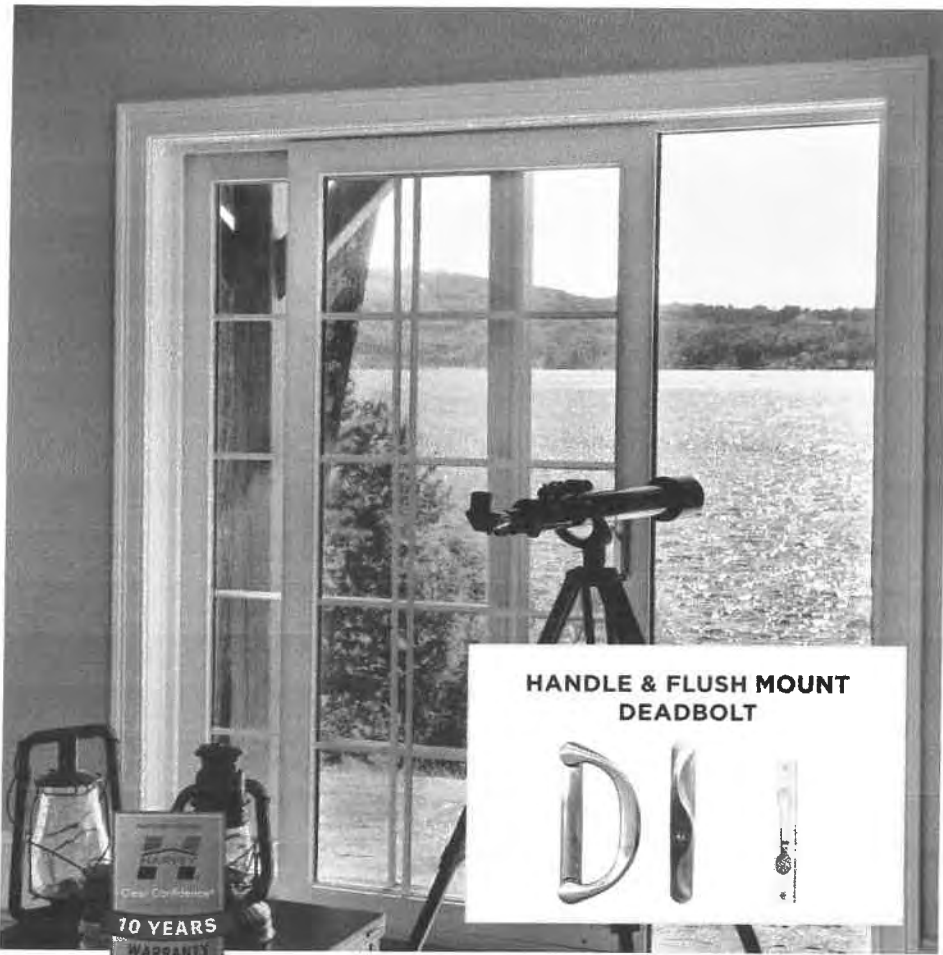
Oil Rubbed Bronze

Brasstone

See Page 11 for Interior/ Exterior color options.

■ Vinyl Patio Doors Only ◆ Majesty Wood Patio Doors Only

PATIO DOOR Vinyl



INSTALLATION OPTIONS

Standard 4-9/16" jamb depth;
6-9/16" extension jambs available

610 size available for 82" height, size
6668 meets 32" clear opening needs

2, 3, and 4 lite design options



Along with standard sizes, Harvey vinyl patio doors can be custom-built to fit virtually any opening, so you get the look you want with the performance you expect.

Solidly constructed and reinforced with heavy-duty aluminum for added durability, they include welded sash corners to provide maximum strength, while multi-chambered frame extrusions further increase their stability and thermal efficiency.

Stocked Patio Doors:

- ▶ White only and 6068 Energy Star rated tempered glass
- ▶ OX or XO; X = Operating Panel; O = Fixed Panel (viewed from exterior)
- ▶ Non-keyed handle set and flushmount deadbolt included

Features

Energy Star glazing option available

Integral fin frame and screen track

Flushmount deadbolt standard on operating panels

Standard non-keyed hardware included, keylock option available

Blinds Between Glass option

THERMA TRU[®]
DOORS



HARVEY
BUILDING PRODUCTS

Entry Doors Systems



2019

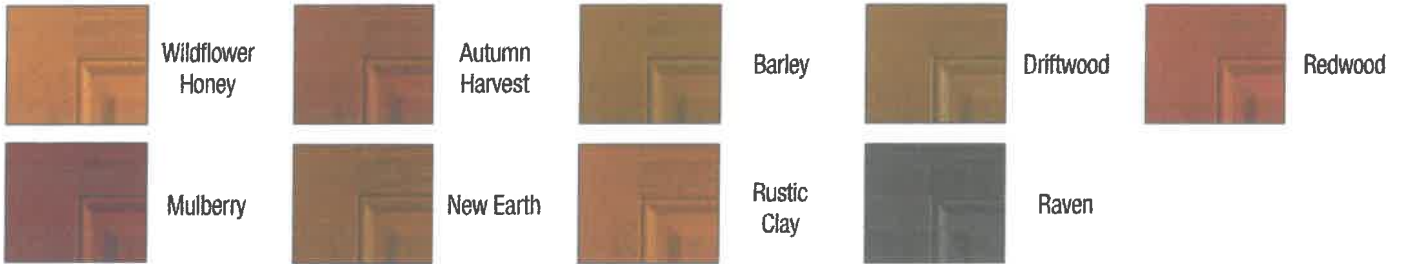
Harvey Prefinished Door Service

Our state-of-the-art process produces a resilient and durable finish that can't be duplicated in the field. We use an environmentally friendly, water-based finish with a very low solvent content that provides proven durability in all weather conditions. Additional benefits include lasting color vibrancy, expanded color and gloss retention, and high abrasion and humidity resistance. All of our finishes are backed by a 10-year warranty.



PRISMAGUARD™ FINISHES

Available for Classic-Craft and Fiber-Classic doors.



SOLID COLOR FINISHES



Frame and Casing Prefinishing Options

| | Frame | Brickmould Casing | Flat Casing |
|----------------------------|-------|-------------------|-------------|
| Wood Grain Composite | ✓ | ✓ | ✓ |
| White Vinyl Clad Composite | ✓ | ✓ | ✓ |
| Clear Pine | ✓ | ✓ | N/A |
| Primed Finger-Joint | ✓ | ✓ | ✓ |

- Wood grain composite jambs and casing can be prefinished with wood grain or solid colors, or finished in the field
- White vinyl clad composite jambs and casing can be prefinished with solid colors only, or painted in the field
- Prefinished jambs are available with a split finish
- Prefinished casing is applied; nail holes need to be finished on-site (touch up paint is included)
- Primed finger-joint and clear wood jambs and casing are not available prefinished
- See page 42 for details on casing profiles

Due to printing limitations, finishes and colors shown in this brochure are for representation only.

Jamb and Sill Options

Jambs

Can be factory finished.



Wood Grain Composite

White Vinyl Clad Composite

Clear Pine

Primed Finger-Joint



Sills

Mill finish fixed composite sill standard. Adjustable composite sills available in all finishes; hardwood sills are mill finish only.



Mill finish (standard)



Bronze finish



Satin Nickel



Outswing



Mill public access



Bronze public access

Primed finger-joint

Comparable to Framesaver™ by Therma-Tru, the primed finger-joint offers great performance at a competitive price point.

- Dimensional stability: reduces swelling and shrinkage by 75% or more
- Barrier to insect and fungal decay
- Resistance to UV degradation

Jamsill Guard®

The Jamsill Guard® is an adjustable sill pan flashing proven to prevent damage caused by exterior door and window leaks.

DualGuard Threshold Tape

Manufactured by ProtectoWrap, Dual Guard Threshold Tape™ acts like a gasket, sealing off the sub-floor and preventing air and moisture infiltration under the threshold to help keep the door frame from racking and the sub-floor from swelling and warping.

- Adheres to concrete, wood and metal surfaces
- Self-adhering for precise placement and easy application
- Designed for all entry/patio doors

Composite Frames & Casings

An innovative alternative to traditional wood jambs.

- Closed Cellular Structure ensures that the door frame will not absorb or wick moisture, and prevents warping, rotting, and splitting
- Rigid Poly-Fiber Formulation eliminates the need for an aluminum support channel
- Twice the screw-holding power of traditional wood door frames
- Limited Lifetime Warranty



Wood Grain Composite

Can be prefinished wood grain and solid colors, or finished on-site



White Vinyl Clad Composite

Can be left as-is, prefinished with a solid color, or painted on-site

See next page for composite casing profiles

Casing Options

Exterior Casings

WGN Composite casing wood grain

- A) Brickmould
- B) Brickmould w/nail fin
- C) Brickmould w/j-channel
- D) 3-1/2" flat no j
- E) 3-1/2" flat w/j-channel

WCP Composite casing white vinyl clad

- F) Brickmould
- G) Brickmould w/nail fin
- H) Brickmould w/j-channel
- I) 3-1/2" flat no j
- J) 3-1/2" flat w/j-channel

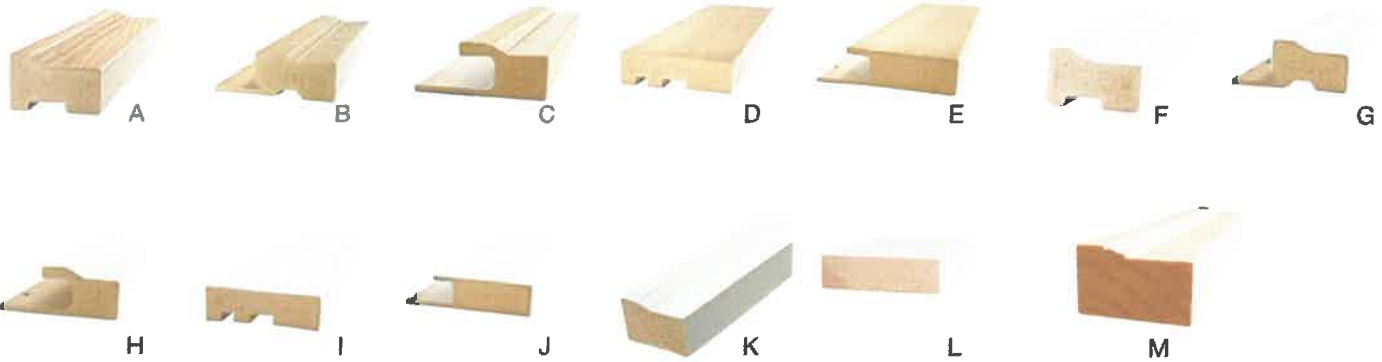
Prime finger-joint (PFJ)

- K) Brickmould
- L) 3-1/2" flat (5/4 x 4)

Clear wood casing

- M) Clear Pine brickmould

See previous page for information about our composite casing



Interior Trim Kits



2-1/2 Colonial
WM351



2-1/2 Ranch/Clamshell
WM 315/8730



2-1/4 Colonial
WM366



2-1/4 Beaded Colonial
WM376



3-1/2 Colonial
WM444



3-1/2 Windsor
LGM 7/B200



3-1/2 Stafford
GM 650/B225

Available primed
and Clear Pine

Knobs and Levers



Plymouth



Orbit



Georgian



Bowery



Siena



Accent



Avanti



Elan



Flair



Jazz

Deadbolts



Single Cylinder
(interior thumbturn)

Double Cylinder
(interior key)

Handlesets



Plymouth



Camelot



Century



Addison



Brookshire



1-1/4"
Round Clavos



1-3/4"
Round Clavos



18"
Ornamental
Strap Hinge

Finishes



Lifetime
Bright Brass (505)



Bright Brass
(605)



Antique Brass
(609)



Oil Rubbed
Bronze* (613)



Satin Nickel (619)



Antique Pewter
(620)



Distressed Nickel
(621)



Matte Black
(622)



Bright Chrome
(625)



Satin Chrome
(626)



Aged Bronze
(716)

*The dark color on the Oil Rubbed Bronze finish may wear off over time due to the finishing method which has no protective coating or plating. Aged Bronze should be used for a more permanent dark bronze color.

Styles/functions not available in every finish. Check with your local branch for availability.

Due to printing limitations, finishes and colors shown in this brochure are for representation only.



Hardware



Therma-Tru® multi-point locking handle set



Heirloom narrow plate



Brass



Brushed Nickel



Black Nickel



Millennium narrow plate



Brushed Nickel

Hinges



Brushed Nickel



Polished Chrome



Brasstone (standard)



Oil Rubbed Bronze



Bright Brass

Kickplates (34" x 8")

Available in Satin Nickel or Solid Brass



Peepsites



Brass



Satin Chrome

Baldwin® mailslots



Brass



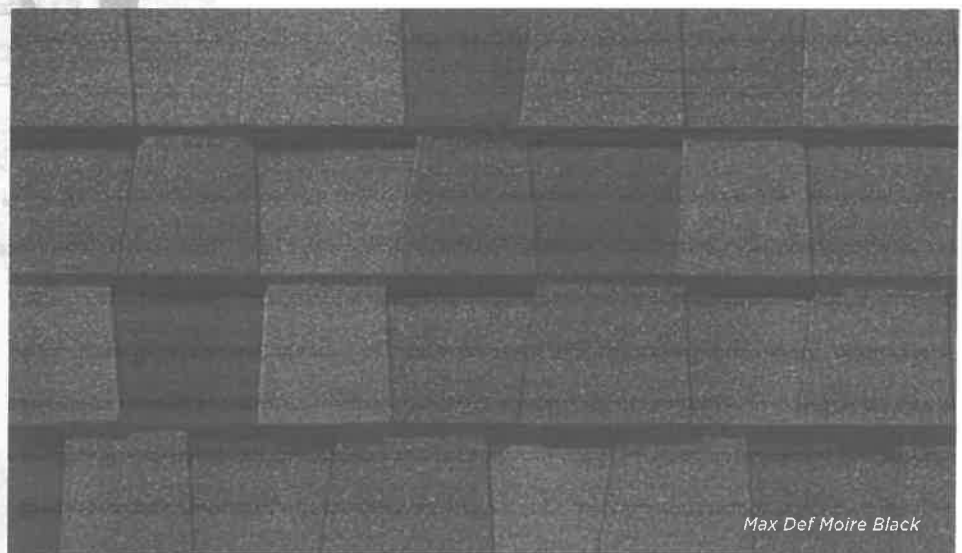
Satin Nickel

The Expert's Choice

LANDMARK® PRO Architect 80

A refined union of vision and value,
our PRO line leads its class in optimal
performance and variety of color.

- Engineered to meet professional contractors' exacting specifications
- Available in a wide selection of eye-catching **Max Def** colors
- Outweighs standard laminates to provide greater protection from the elements



Max Def Moire Black



Max Def Weathered Wood



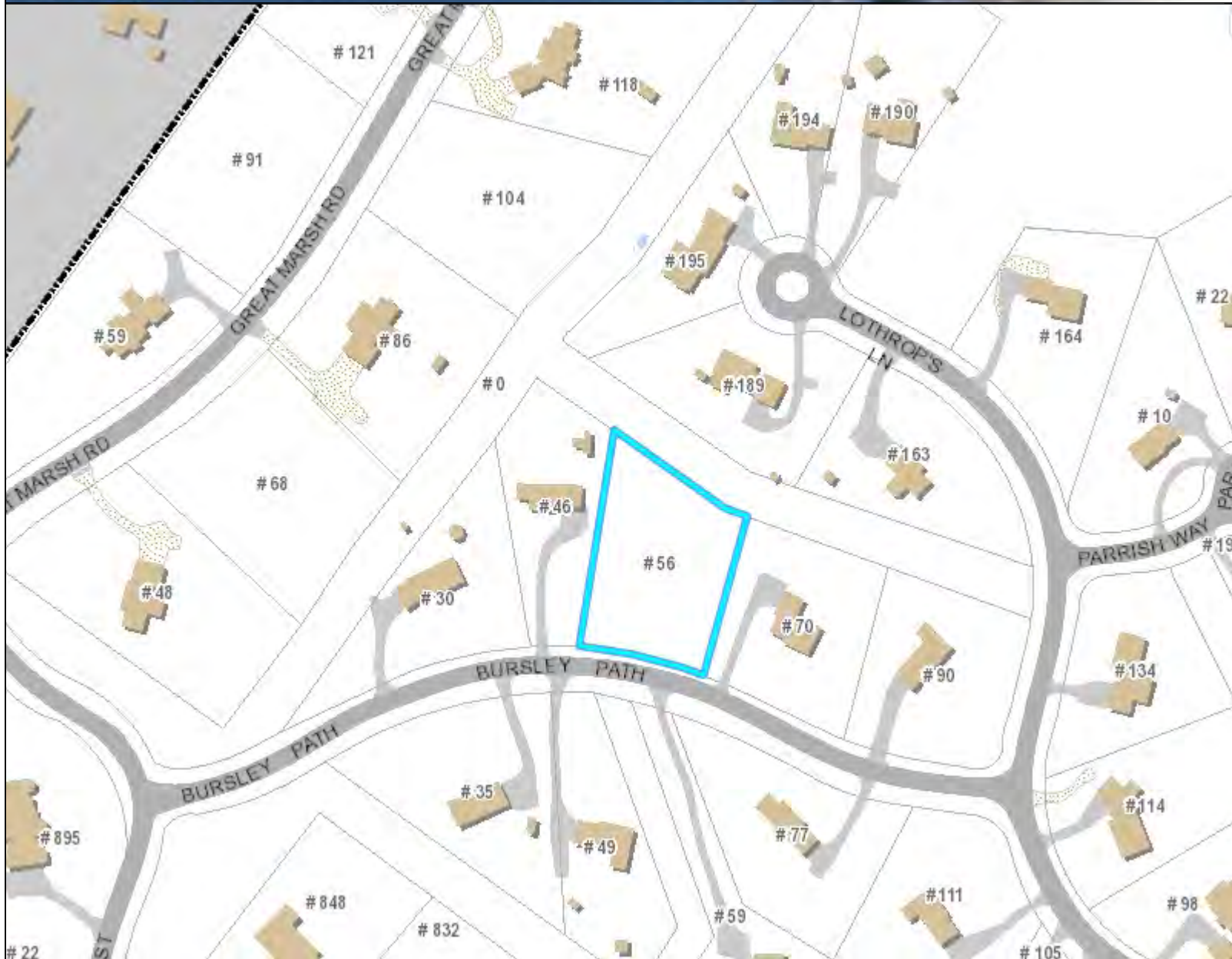
Max Def Moire Black



Max Def Heather Blend

MAX DEF COLORS

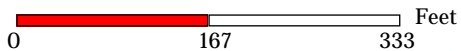
Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 11/10/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

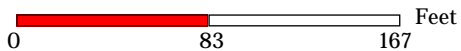
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 11/10/2020



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 110025005

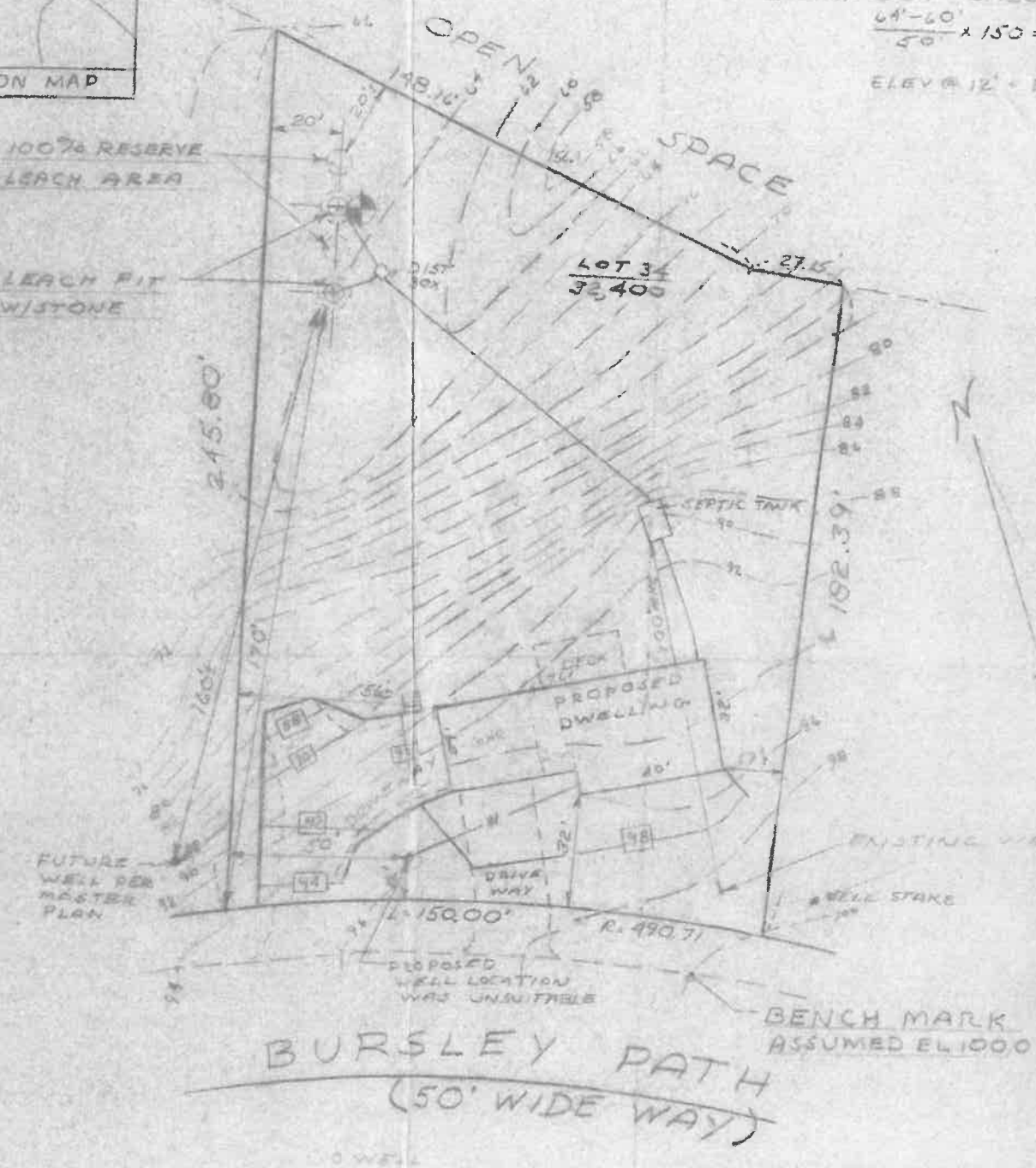
Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|----------------------------------|-------------------------------------|-----------------|----------------|-----------------|-------|-------|
| 089007 | H AISLET, RANDY E & TAMMIE J TRS | H AISLET FAMILY TRUST | 49 BURSLEY PATH | | WEST BARNSTABLE | MA | 02668 |
| 089008 | GONSALVES, SCOTT & AMBER | %CARLL, STEVE & CERULLI, RACHAEL | 46 BURSLEY PATH | | WEST BARNSTABLE | MA | 02668 |
| 110025001 | LANCASTER, JOHN K & LEI | | 59 BURSLEY PATH | | WEST BARNSTABLE | MA | 02668 |
| 110025002 | LYONS, KEVIN P & JUDITH O | | 77 BURSLEY PATH | | WEST BARNSTABLE | MA | 02668 |
| 110025004 | DINN, RICHARD P II & MICHELE L | | 70 BURSLEY PATH | | WEST BARNSTABLE | MA | 02668 |
| 110025005 | LENIHAN, PATRICK ESTATE OF | %MCCULLOUGH, RACHAEL | 61 FLICKER LANE | | WEST YARMOUTH | MA | 02673 |
| 110025014 | PARRISH ACRES COMM ASSOC, INC | | P O BOX 733 | | WEST BARNSTABLE | MA | 02668 |

LOCATION MAP

100% RESERVE
LEACH AREA

LEACH PIT
W/STONE



PLAN SCALE: 1" = 30'

CAUTION: CONTRACTOR TO CONTACT DIG-SAFE 72 HOURS PRIOR TO EXCAVATION!

ZONING DATA

| | | |
|-------------------------|-----------------|-----------------|
| ZONE: | <u>RESIDENT</u> | RF - OPEN SPACE |
| REQUIRED AREA: | <u>43,560</u> | <u>32,470</u> |
| REQUIRED FRONTAGE: | <u>150</u> | <u>112.5'</u> |
| REQUIRED FRONT SETBACK: | <u>30</u> | <u>22.5'</u> |
| REQUIRED SIDE SETBACK: | <u>15</u> | <u>11.25'</u> |
| REQUIRED REAR SETBACK: | <u>15</u> | <u>11.25'</u> |

LEGEND

| | |
|----------------------------|-------|
| TEST HOLE LOCATION | |
| EXISTING SPOT ELEVATION | 17.6 |
| EXISTING CONTOUR | 16 |
| PROPOSED CONTOUR | 16 |
| WATER SERVICE LINE | W |
| GAS SERVICE LINE | G |
| ELECTRIC & TELEPHONE LINES | E & T |

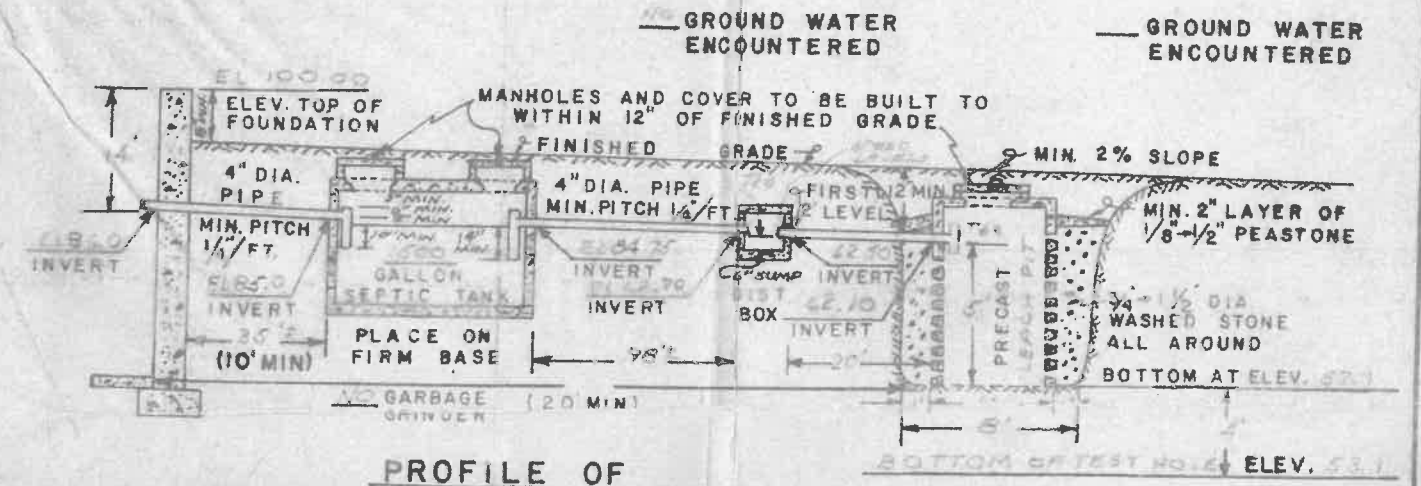
BUILDING INSPECTOR APPROVAL DATE

WITNESSED BY: TOM M'KEAN SR
DOYLE ENGINEERING

HIGH GROUND-WATER ADJUSTMENT:

| | |
|----------------------------|------------|
| OBSERVED WATER DEPTH | <u>N/A</u> |
| INDEX WELL | <u>---</u> |
| WATER RANGE ZONE | <u>---</u> |
| CURRENT WELL DEPTH | <u>---</u> |
| WATER ADJUSTMENT | <u>---</u> |
| ESTIMATED DEPTH TO WATER | <u>---</u> |
| ESTIMATED MAX. WATER ELEV. | <u>---</u> |

| TEST HOLE #1 | ELEV. | TEST HOLE #2 | ELEV. |
|--------------|--------|--------------|-------|
| 4" DIA. PIPE | EL. 65 | | |
| 3" DIA. PIPE | EL. 62 | | |
| 2" DIA. PIPE | EL. 57 | | |
| 1" DIA. PIPE | EL. 53 | | |



PROFILE OF SANITARY DISPOSAL SYSTEM (NOT TO SCALE)

- CONSTRUCTION OF SEPTIC SYSTEM SHALL CONFORM TO THE COMM. OF MASS. ENVIRONMENTAL CODE, TITLE 5 AND THE TOWN BOARD OF HEALTH REGULATIONS.
- THE DESIGN IS TO BE STRICTLY FOLLOWED. CRAIG R. SHORT IS TO BE CONTACTED PRIOR TO ANY CHANGES.
- SEPTIC TANK, DISTRIBUTION BOX AND LEACHING UNIT TO BE OF REINFORCED CONCRETE. MIN. CONCRETE STRENGTH = 3,000 P.S.I. MIN. STEEL STRENGTH = 20,000 P.S.I. MIN. DESIGN LOADING: 410
- DRIVEWAYS NOT TO BE LOCATED OVER SYSTEM UNLESS H2O DESIGN LOADING IS USED
- ALL PIPES AND FITTINGS TO BE WATERTIGHT AND TO BE OF CAST IRON OR APPROVED P.V.C.

DESIGN DATA

| |
|---|
| <u>5</u> BEDROOMS |
| DESIGN FLOW <u>550</u> GAL/DAY |
| LEACH RATE <u>24</u> MIN./INCH |
| PROP'D. BOT. AREA <u>100.5</u> SF |
| PROP'D. SIDE AREA <u>25.3</u> SF |
| TOTAL AREA = <u>125.8</u> SF |
| PROPOSED LEACHING CAPACITY <u>586</u> GPD |
| REQUIRED LEACHING CAPACITY <u>550</u> GPD |
| REQUIRED SEPTIC TANK <u>500</u> GALLONS |

HEALTH AGENT APPROVAL DATE

SITE PLAN SHOWING PROPOSED CONSTRUCTION

LOCATION: LOT 34 BURSLEY PATH, W. BARNSTABLE, MA
 FOR: PATRICK LEVNIHAN DATE: 3/19/95
 REFERENCE: LOT 34 AS SHOWN ON REVISIONS: 7/24/97
 MAP PAR. 5 PLAN BOOK 418 PAGE 55
 CLIENT'S ADDRESS: 276 SOUTH ST. HARTWICH, MA 02645
 IF THIS PLAN DOES NOT BEAR A RED STAMP BY CRAIG R. SHORT, THEN IT IS NOT A VALID COPY & I ASSUME NO RESPONSIBILITY FOR ITS CONTENT OR USE.



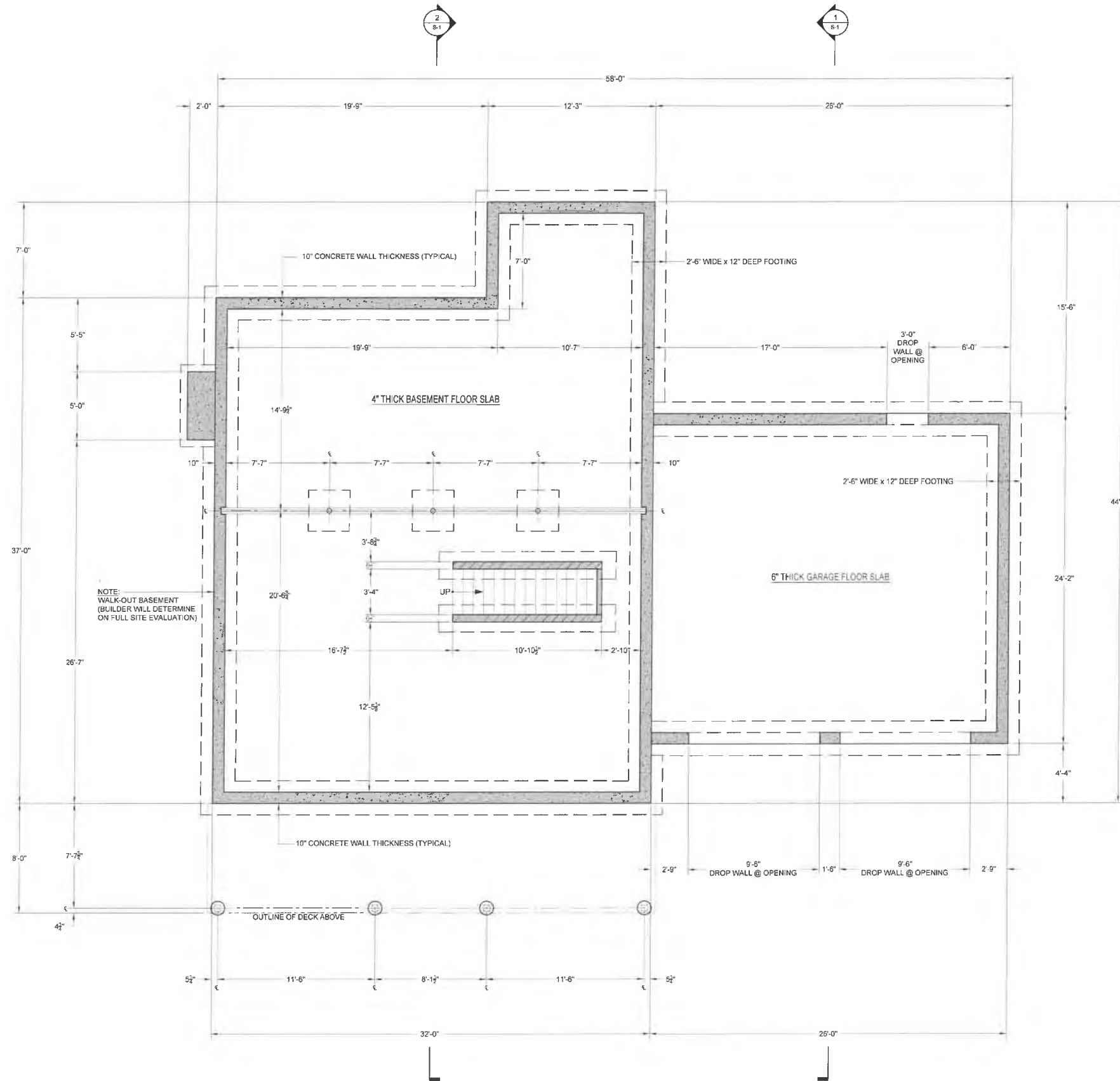
CRAIG R. SHORT, P.E.

PROFESSIONAL CIVIL ENGINEER
14 TORY LANE, DENNIS, MASS. 02638

(508) 385-6530

FILE NO. 1-782
SHEET 1 OF 1

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NOTE:
WALK-OUT BASEMENT
(BUILDER WILL DETERMINE
ON FULL SITE EVALUATION)

BASEMENT / GARAGE PLAN

SCALE: 1/4" = 1'-0"

" 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS "
DRAWING BY T.D.I.

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell

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Email: technicaldesignsimg@gmail.com
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CLIENT:

Jd SULLIVAN
BUILDERS

MCCULLOUGH
RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED
BASEMENT /
GARAGE
PLAN

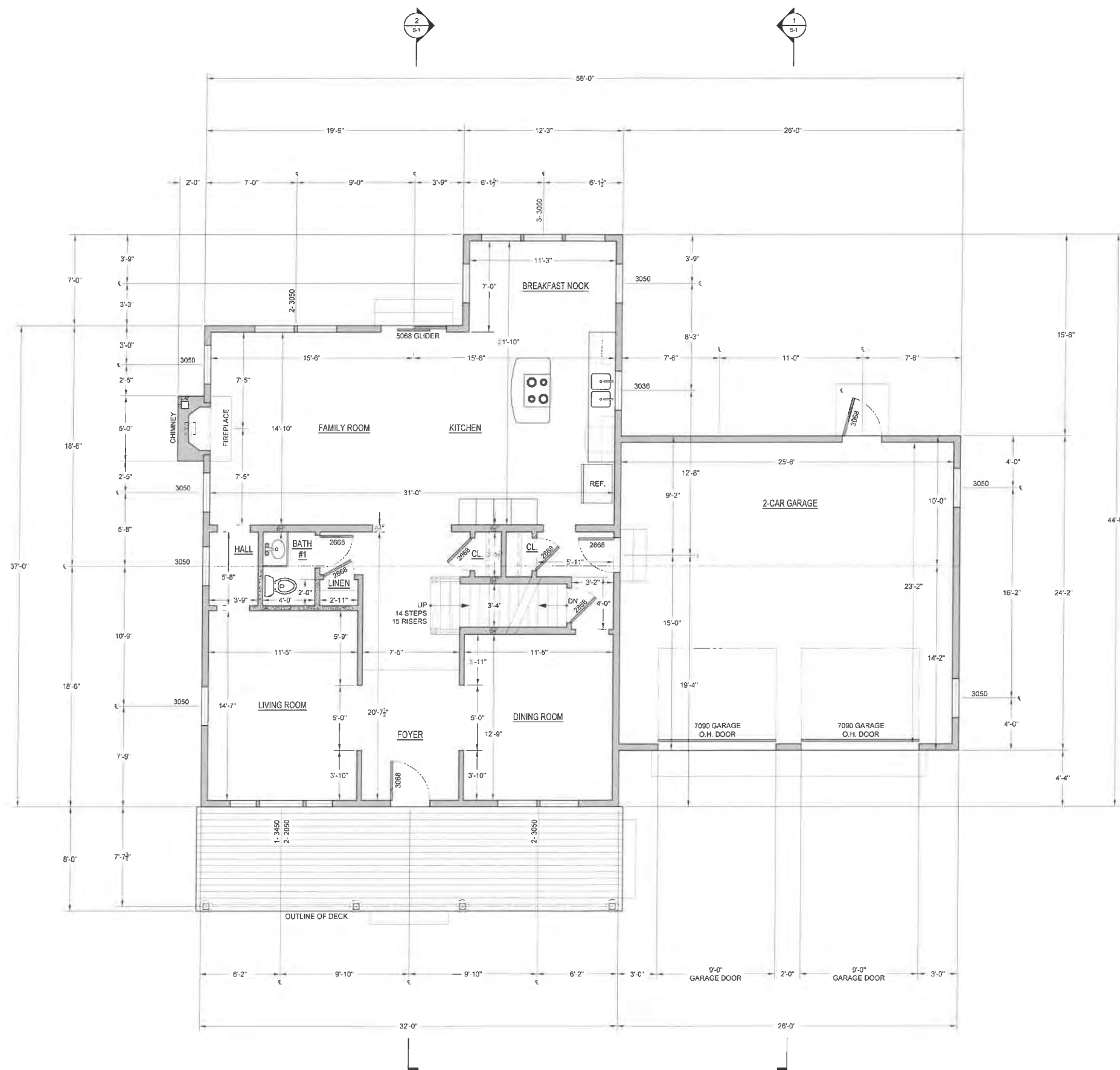
FOUNDATION
PLAN

DRAWING NUMBER

A-1

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GARAGE / 1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

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W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED GARAGE /
1st FLOOR PLAN

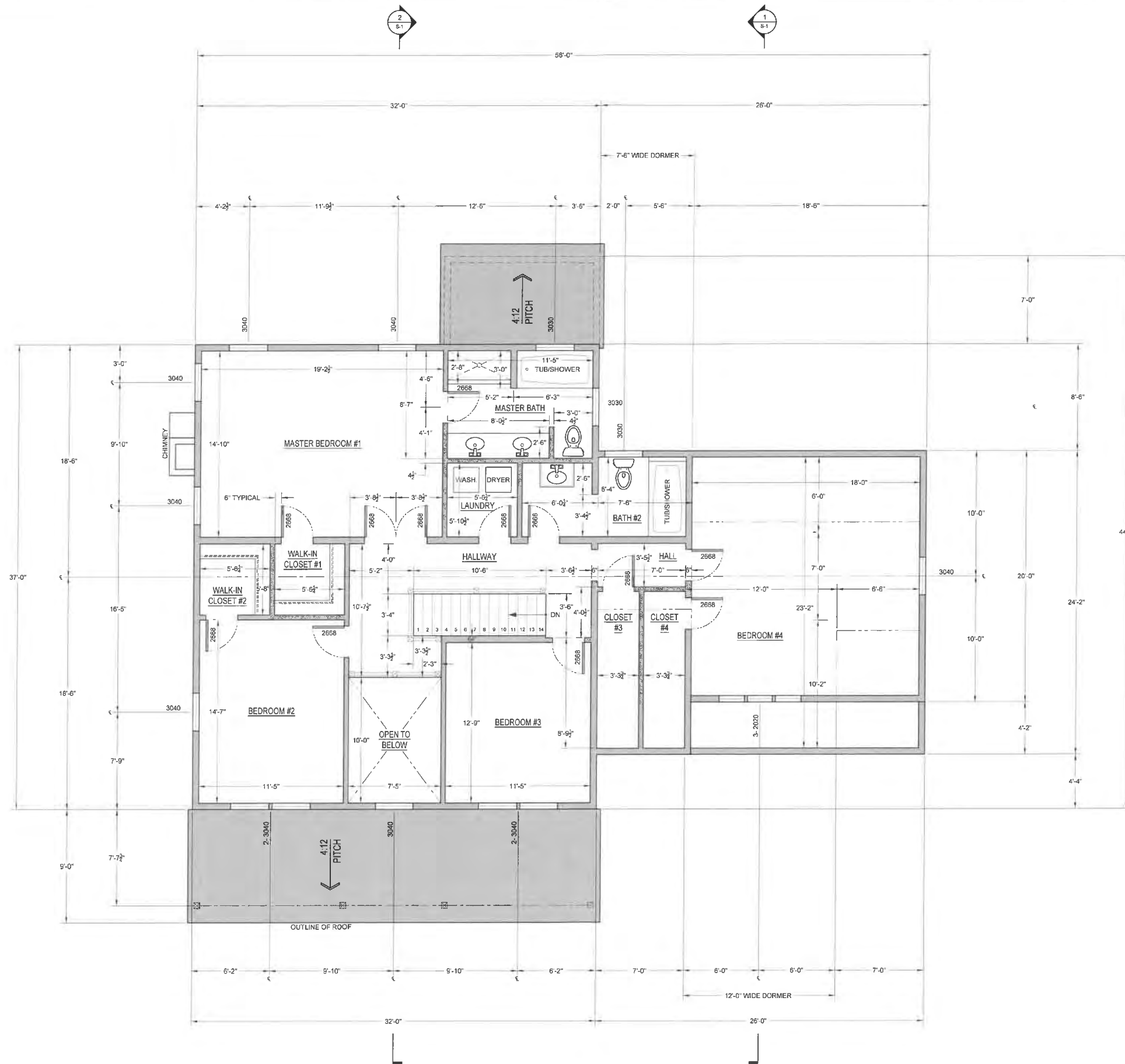
BEARING WALL PLAN

DRAWING NUMBER

A-2

SHEET 3 OF 13

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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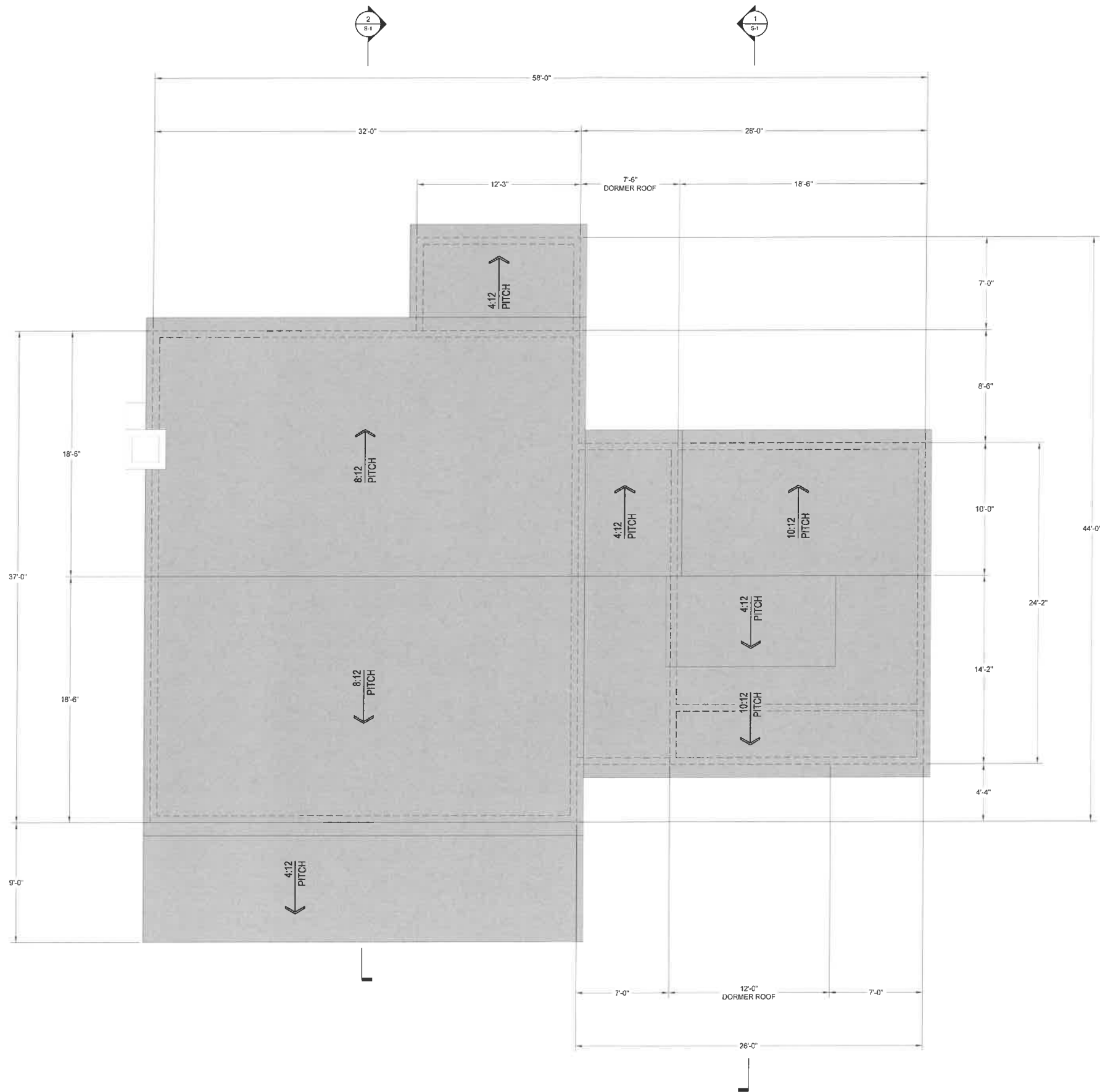
SCALE: AS NOTED

PROPOSED SECOND FLOOR PLAN

SECOND FLOOR PLAN

DRAWING NUMBER:
A-3
SHEET 4 OF 13

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ROOF PLAN
SCALE: 1/4"=1'-0"

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56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED ROOF PLAN

ROOF PLAN

DRAWING NUMBER

A-4

SHEET 5 OF 13

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McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED FRONT & RIGHT SIDE ELEVATIONS

ELEVATIONS

DRAWING NUMBER

A-5

SHEET 6 OF 13



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

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McCULLOUGH RESIDENCE
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SCALE: AS NOTED

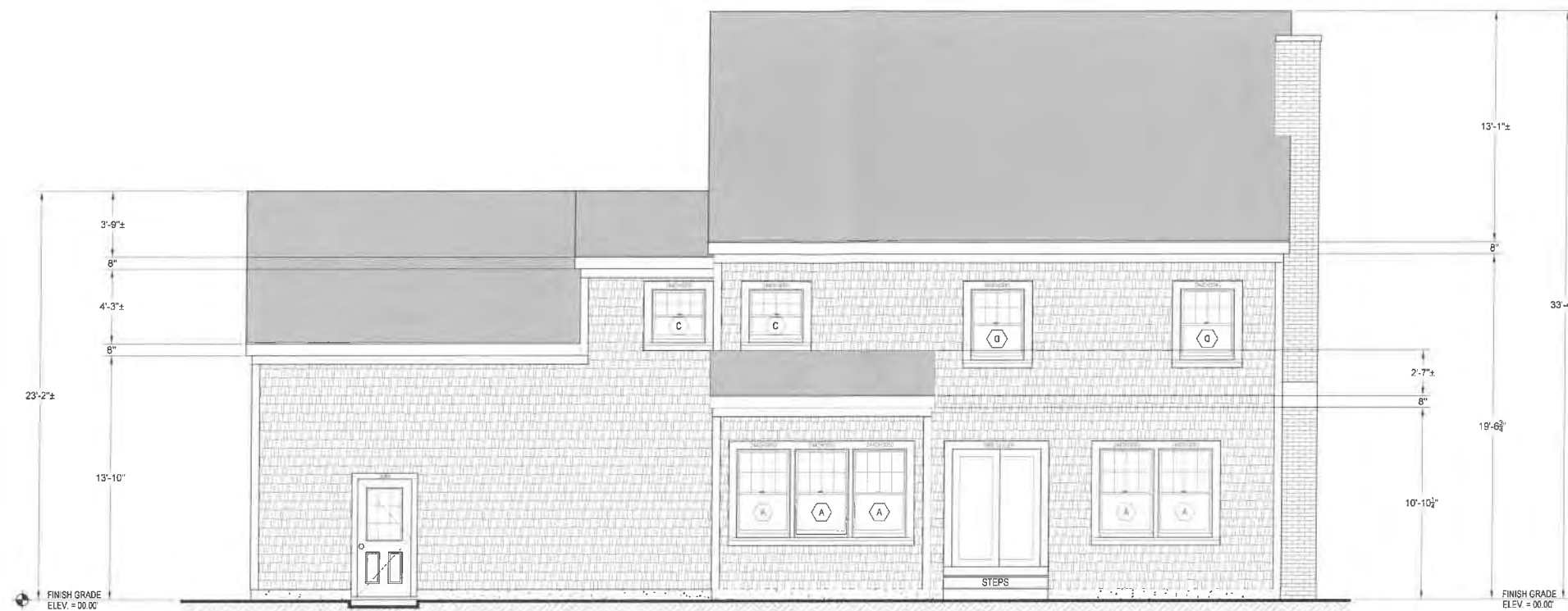
PROPOSED REAR & LEFT SIDE ELEVATIONS

ELEVATIONS

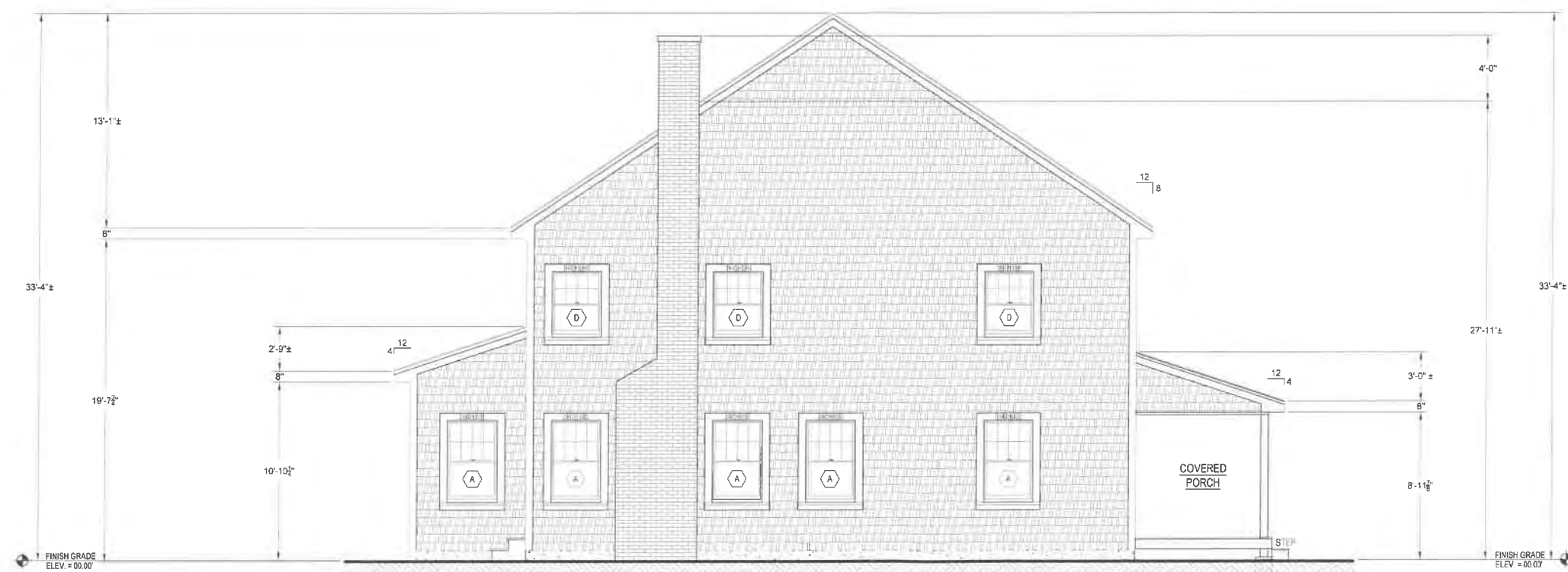
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A-6

SHEET 7 OF 13



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

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Comments

REVISIONS

| No. | DATE | DESCRIPTION | IGN. & DATE |
|-----|--------------------|---------------------------------------|-------------|
| | SEPTEMBER 30, 2020 | G.A.M. - INITIAL DRAWING RELEASE - | |

CLIENT:

Jd SULLIVAN BUILDERS
McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED STRUCTURAL SECTIONS

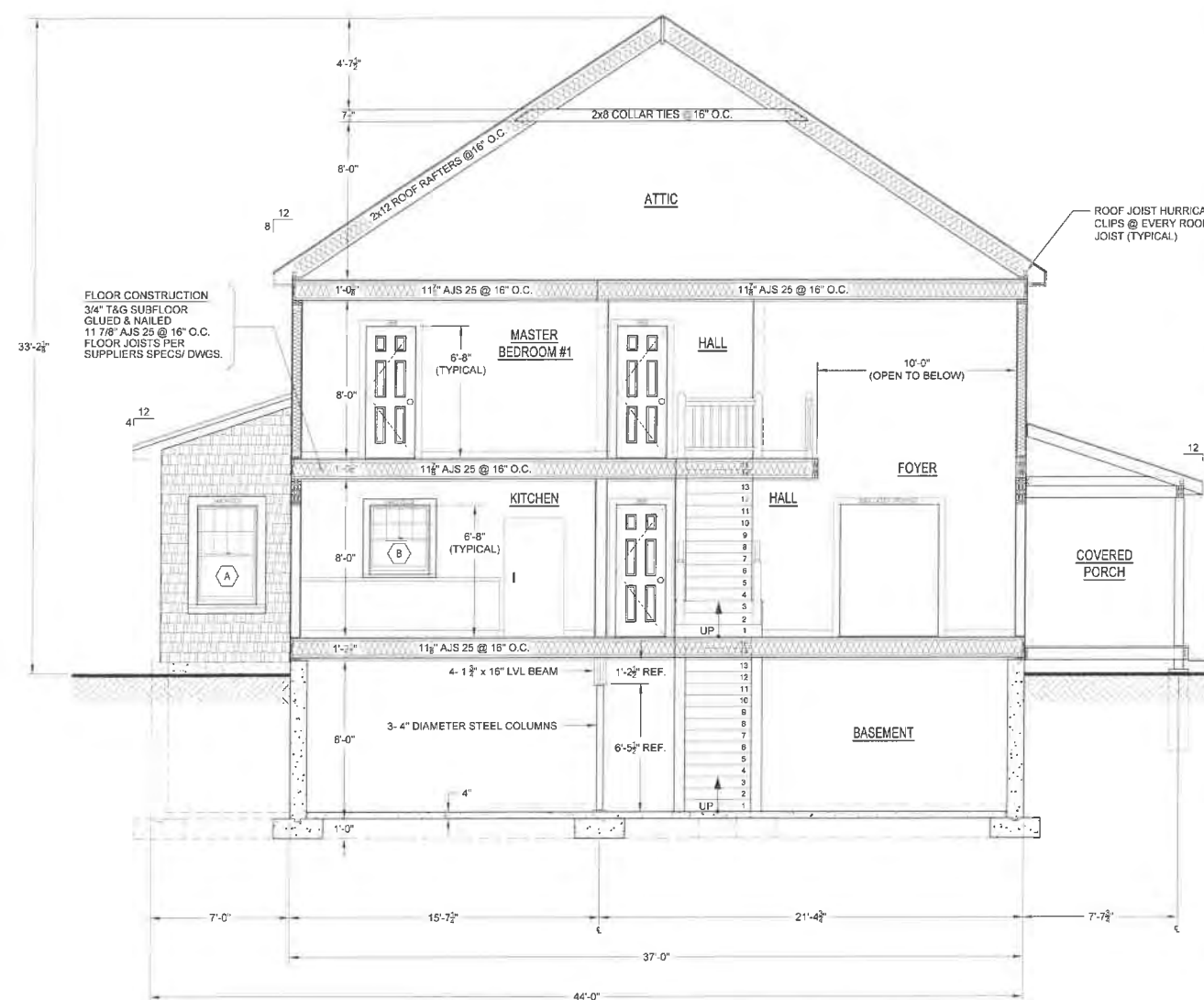
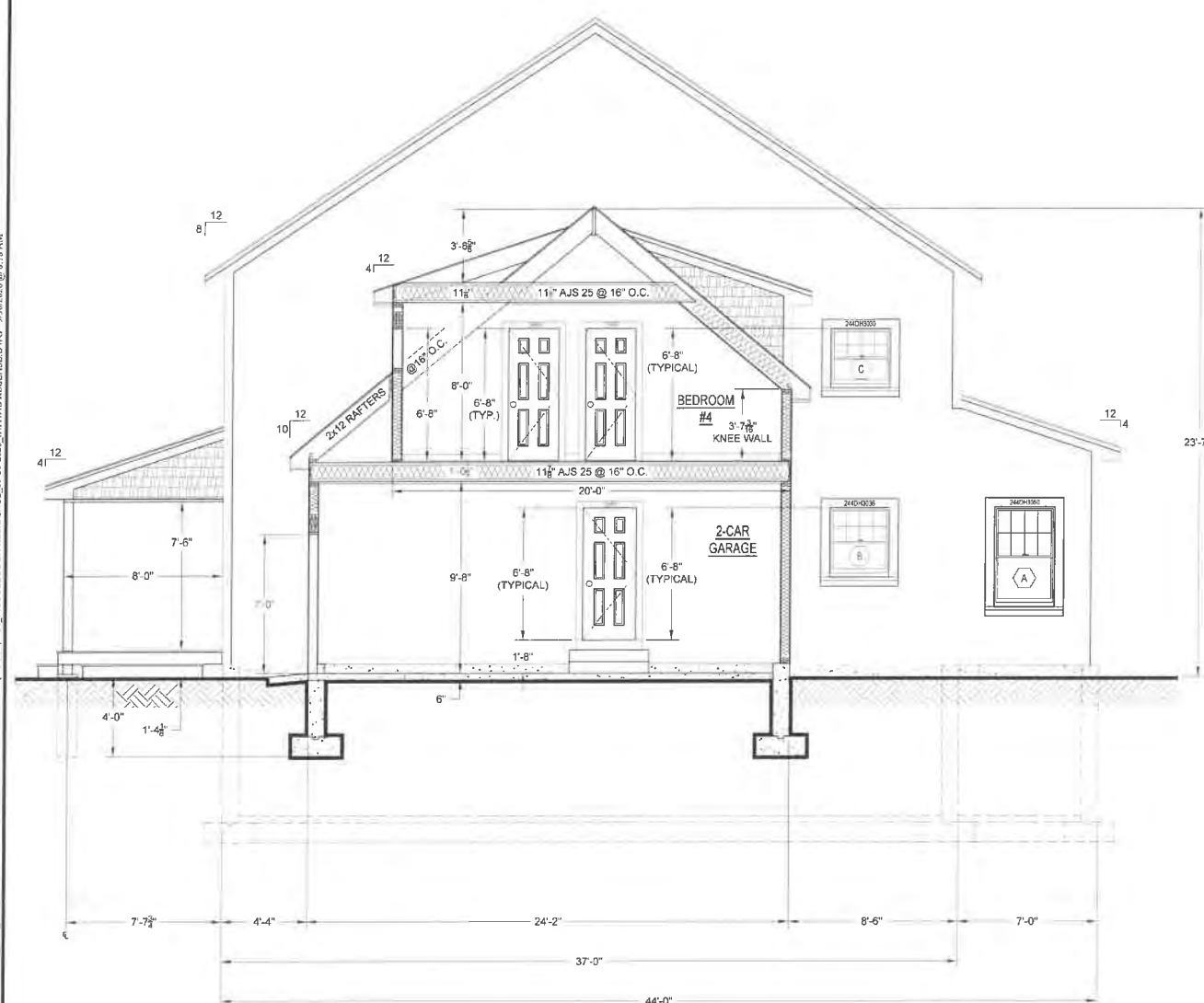
SECTIONS

DRAWING NUMBER

S-1

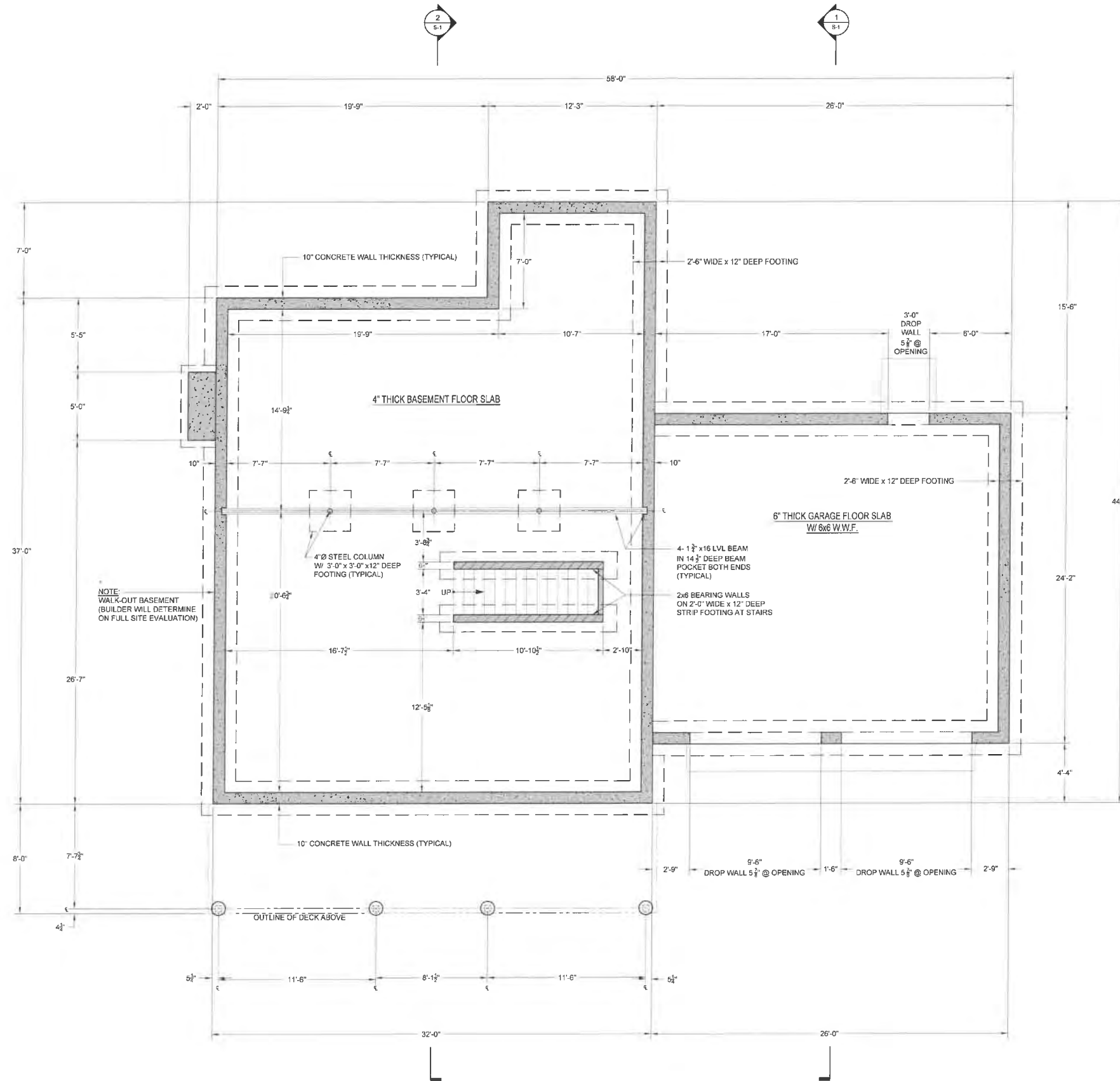
SHEET 8 OF 13

* 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS *
DRAWING BY T.D.I.



CLIENT: Jd SULLIVAN BUILDERS
PROJECT: McCULLOUGH RESIDENCE
DATE: 09-30-2020
DRAWING: INITIAL RELEASE
DRAWING NO: 9/30/2020 @ 8:18 AM

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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

T.D.I.
TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell
775 MAIN STREET (Route 28), SUITE A2
WEST DENNIS, MA 02670
Work: (508) 360-7506
Email: technicaldesignsimg@gmail.com
Web Page: http://draftmaster001.wix.com/t-d-i

* CERTIFIED DRAFTSMAN @ 1978 *
- 42 YEARS EXPERIENCE -
- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:
* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

| No. | DATE | BY | DESCRIPTION |
|-----|--------------------|--------|-------------------------|
| | SEPTEMBER 30, 2020 | G.A.M. | INITIAL DRAWING RELEASE |
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CLIENT:
JD SULLIVAN BUILDERS

McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

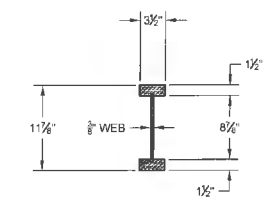
SCALE: AS NOTED

STRUCTURAL FOUNDATION PLAN

PLAN

DRAWING NUMBER
S-2
SHEET 9 OF 13

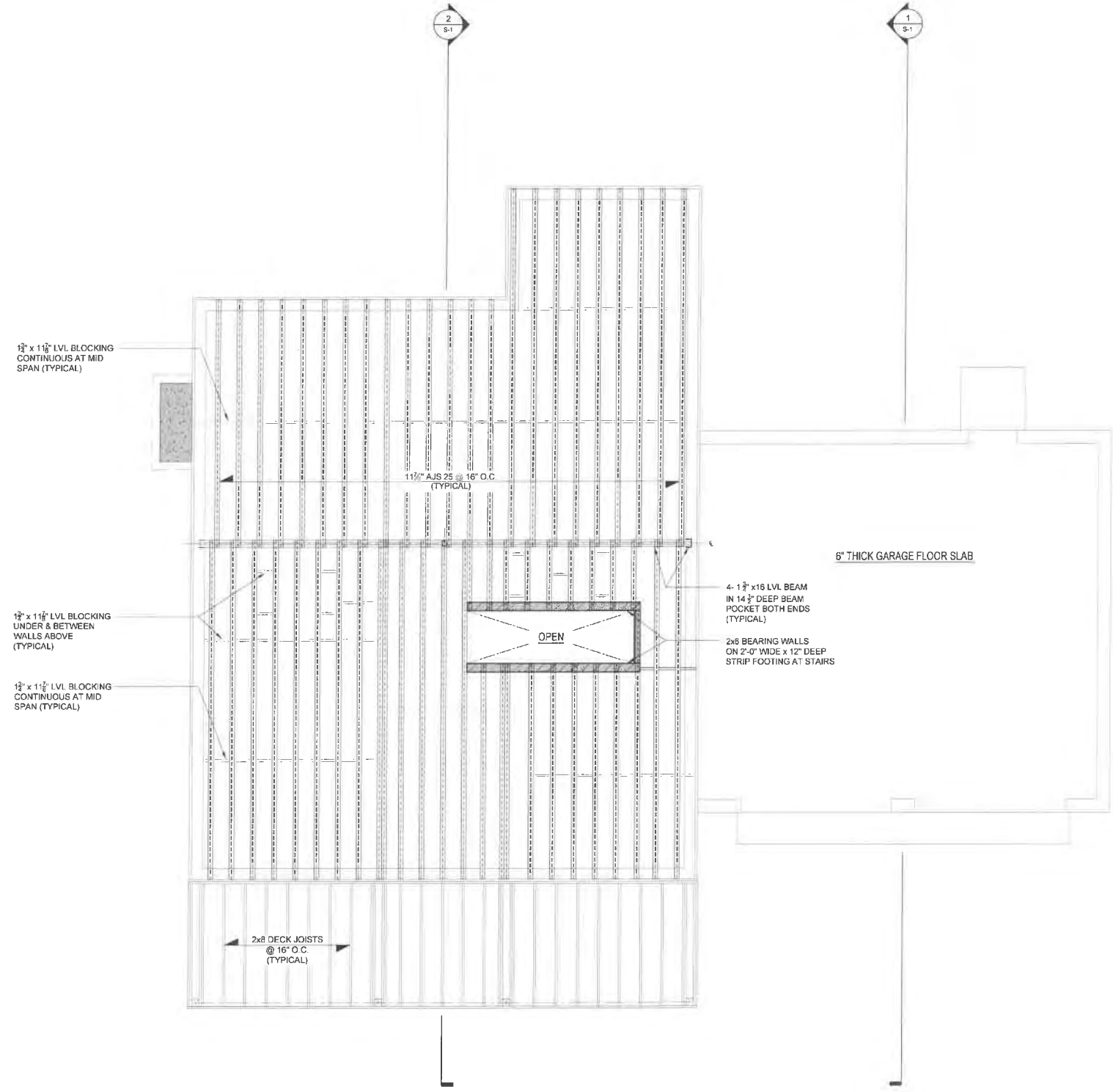
C:\USER\STP\GLENN MITCHELL\DOCUMENTS\2020\T.D.I. FOLDERS\JEREMIAH SULLIVAN_JD SULLIVAN BUILDERS\MCCULLOUGH RESIDENCE (HOUSE)\T.D.I. McCULLOUGH RESIDENCE (HOUSE)\T.D.I. INITIAL RELEASE.DWG 9/30/2020 @ 8:18 AM



ALL JOIST - AJS 25

(22'-9" MAXIMUM LENGTH)
DO NOT SCALE

NOTE:
USE RECOMMENDED ALL JOIST, VERSA-LAM RIM BOARDS, VERSA-LAM COLUMN, VERSA-LAM BEAM & ALL RECOMMENDED HARDWARE
(SEE SHEET S-6 OR ALL JOIST MANUFACTURER WEB SITE FOR INSTALLATION REQUIREMENT)



FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell

775 MAIN STREET (Route 2B), SUITE A2
WEST DENNIS, MA 02670
Work: (508) 360-7506

Email: technicaldesignsimg@gmail.com
Web Page: <http://draftmaster001.wix.com/t-di>

* CERTIFIED DRAFTSMAN @ 1976 *
- 42 YEARS EXPERIENCE -
- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

| No. | DATE | DESCRIPTION | BY |
|-----|--------------------|-------------------------------------|----|
| | SEPTEMBER 30, 2020 | G.A.M. - INITIAL DRAWING RELEASE | |
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CLIENT:

JD SULLIVAN BUILDERS
McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

STRUCTURAL FIRST FLOOR FRAMING PLAN

PLAN

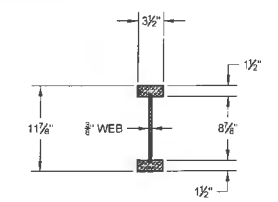
DRAWING NUMBER

S-3

SHEET 10 OF 13

" 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS "
DRAWING BY T.D.I.

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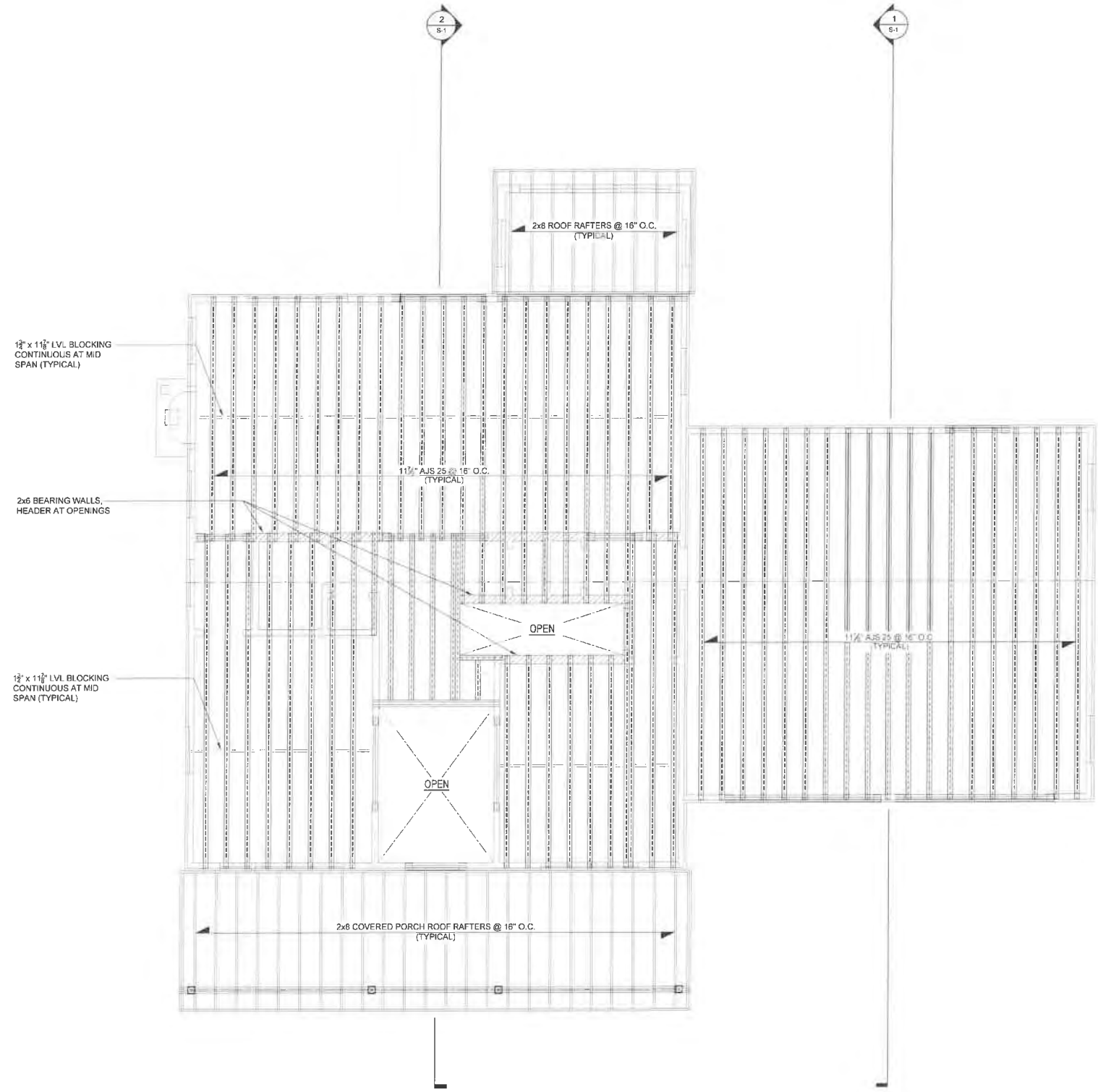


ALL JOIST - AJS 25

(22'-9" MAXIMUM LENGTH)
DO NOT SCALE

NOTE:

USE RECOMMENDED ALL JOIST, VERSA-LAM RIM BOARDS, VERSA-LAM COLUMN, VERSA-LAM BEAM & ALL RECOMMENDED HARDWARE.
(SEE SHEET S-6 OR ALL JOIST MANUFACTURER WEB SITE FOR INSTALLATION REQUIREMENT)



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell

775 MAIN STREET (Route 28), SUITE A2
WEST DENNIS, MA 02670
Work: (508) 360-7506

Email: technicaldesignsimging@gmail.com
Web Page: http://tdi-draftmaster001.wor.com/tdi

* CERTIFIED DRAFTSMAN @ 1976 *
- 12 YEARS EXPERIENCE -
- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:
* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

| No. | DATE | DESCRIPTION | DES. BY |
|-----|--------------------|-------------------------|---------|
| 1 | SEPTEMBER 30, 2020 | INITIAL DRAWING RELEASE | G.A.M. |

CLIENT:
Jd SULLIVAN BUILDERS

McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

STRUCTURAL SECOND FLOOR FRAMING PLAN

PLAN

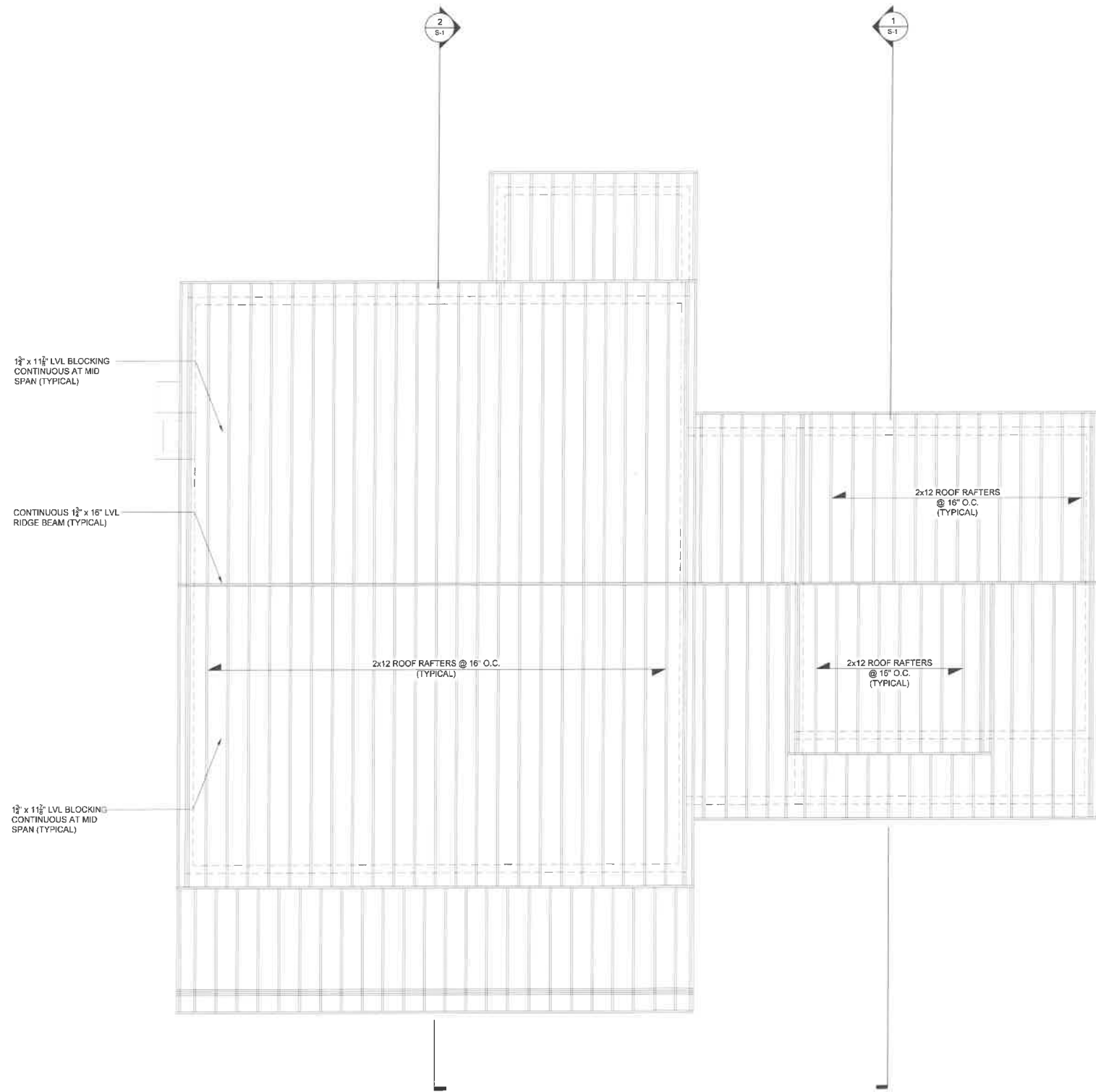
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S-4

SHEET 11 OF 13

" 2020 ARCHITECTURAL & STRUCTURAL DRAWINGS "
DRAWING BY T.D.I.

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ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell

775 MAIN STREET (Route 2B), SUITE A2
WEST DENNIS, MA 02670
Work: (508) 360-7506

Email: technicaldesignsimg@gmail.com
Web Page: http://draftmaster001.ws.com/~tdi

* CERTIFIED DRAFTSMAN @ 1976 *
- 42 YEARS EXPERIENCE -
- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

REVISIONS

| No. | DATE | BY | DESCRIPTION |
|-----|--------------------|--------|-----------------------------|
| - | SEPTEMBER 30, 2020 | G.A.M. | - INITIAL DRAWING RELEASE - |
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CLIENT:
J.D. SULLIVAN BUILDERS

McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

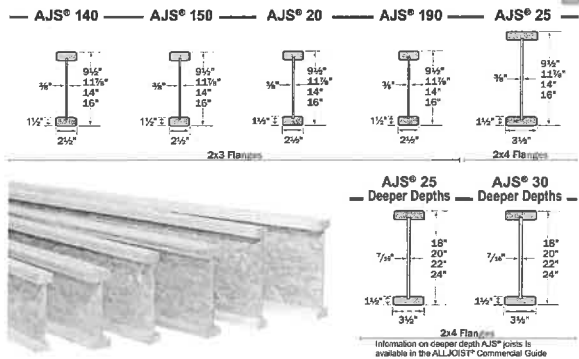
SCALE: AS NOTED

STRUCTURAL ROOF FRAMING PLAN

PLAN

DRAWING NUMBER
S-5
SHEET 12 OF 13

ALLJOIST® Product Profiles



ALLJOIST® Product Architectural Specifications

EVALUATION SUBJECT: AJS® Series Prefabricated Wood Joists

1.0 Evaluation Scope: Compliance with the following codes:

- International Building Code (IBC)
- International Residential Code® (IRC)
- Provisions Evaluated: Structural

2.0 Use: The AJS® Joists are prefabricated wood joists used for floor joists, roof rafters and blocking joists, to support code-required loads. Prefabricated wood joists described in this report comply with Section 2023.2.2 of the IBC and Section R502.2.1.1 of the IRC, to stress stress design.

3.0 Description:

3.1 Content: The AJS® Series prefabricated wood joists have solid-sawn lumber or composite lumber flanges and oriented strand board (OSB) webs. The top and bottom flanges are parallel, ensure constant depth joist. The web-to-web joints of the joists are square girthed and conform to the specifications in the approved quality control manual. Prefabricated wood joists described in this report comply with Section 2023.2.2 of the IBC and Section R502.2.1.1 of the IRC, to stress stress design.

3.2 Material Specifications:

3.2.1 Flanges: The flanges of the joists are solid-sawn lumber or composite lumber. The flanges are kiln-dried to a maximum moisture content of 19% and are free of knots, splits, and other defects. The flanges are cut to length and are free of defects.

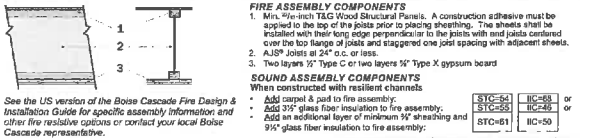
ALLJOIST® Residential Floor Span Tables

About Floor Performance

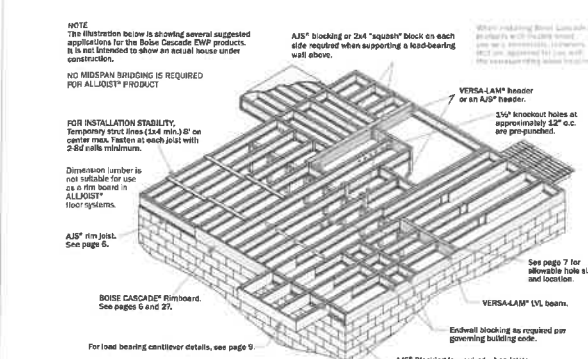
Homeowner's expectations and opinions vary greatly due to the subjective nature of rating a new floor. Communication with the ultimate end user to determine their expectations is critical. Vibration is usually the cause of most complaints. Reducing lateral bracing may help; however, excessive lateral bracing may reduce the floor's performance. The most common complaint is to increase the performance and reduce vibration of wood floor systems is to increase the joist depth, limit joist deflections, and use and screw-in blocking, tongue-and-groove subfloor, install the joists vertically with joist-to-joist connections, and install a direct-attached ceiling to the bottom flanges of the joists.

| Joist | *** THREE STAR *** | | | | *** FOUR STAR *** | | | | *** FIVE STAR *** | | | |
|-------|--------------------|--------|--------|---------|-------------------|---------|--------|--------|-------------------|---------|--------|--------|
| | 140 | 150 | 190 | 25 | 140 | 150 | 190 | 25 | 140 | 150 | 190 | 25 |
| 140 | 17'-0" | 16'-3" | 15'-4" | 13'-11" | 12'-0" | 11'-11" | 11'-1" | 10'-0" | 12'-0" | 11'-11" | 11'-1" | 10'-0" |
| 150 | 18'-1" | 17'-3" | 16'-4" | 14'-2" | 12'-11" | 12'-2" | 11'-3" | 10'-0" | 12'-0" | 11'-11" | 11'-1" | 10'-0" |
| 190 | 19'-4" | 18'-6" | 17'-7" | 15'-11" | 13'-10" | 13'-0" | 12'-1" | 11'-0" | 12'-0" | 11'-11" | 11'-1" | 10'-0" |
| 25 | 21'-0" | 20'-1" | 19'-2" | 17'-0" | 14'-11" | 14'-0" | 13'-1" | 12'-0" | 12'-0" | 11'-11" | 11'-1" | 10'-0" |

One-Hour Floor/Ceiling Assembly



Floor Framing



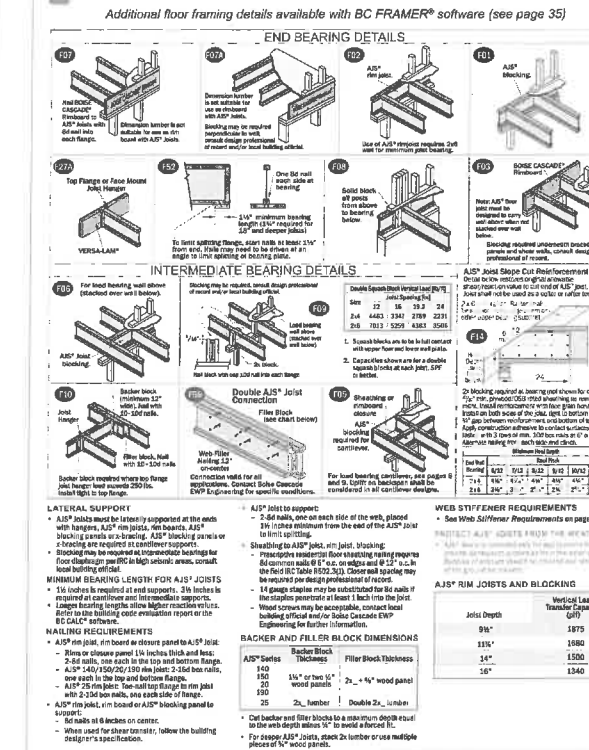
Boise Cascade Rimboard

SAFETY WARNING

DO NOT ALLOW WORKERS ON AJS® JOISTS UNTIL ALL HANDS, AJS® RIM JOISTS, RIB BEARDS, AJS® BLOCKING PANELS, X-RACING AND TEMPORARY 1x4 STRUT LINES ARE INSTALLED AS SPECIFIED BELOW. SERIOUS ACCIDENTS CAN RESULT FROM INSUFFICIENT ATTENTION TO PROPER BRACING DURING CONSTRUCTION. ACCIDENTS CAN BE AVOIDED UNDER NORMAL CONDITIONS BY FOLLOWING THESE GUIDELINES:

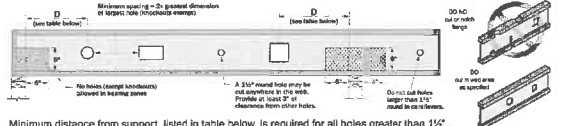
- Build a brace and wall at the end of the joist or permanently install the end of the joist with the end of the joist.
- Use temporary bracing to support the joist until the permanent bracing is installed.
- Use temporary bracing to support the joist until the permanent bracing is installed.

Floor Framing Details



AJS® Joist Hole Location & Sizing

AJS® Joists are manufactured with 1/2" round perforated knockouts in the web at approximately 12" on center.



| Joist | Span | 140 | 150 | 190 | 25 |
|----------------|------|-------|-------|-------|--------|
| Standard Joist | 12' | 2'-0" | 2'-5" | 3'-0" | 3'-10" |
| | 14' | 3'-0" | 3'-5" | 4'-0" | 4'-10" |
| | 16' | 4'-0" | 4'-5" | 5'-0" | 5'-10" |
| | 18' | 5'-0" | 5'-5" | 6'-0" | 6'-10" |
| | 20' | 6'-0" | 6'-5" | 7'-0" | 7'-10" |

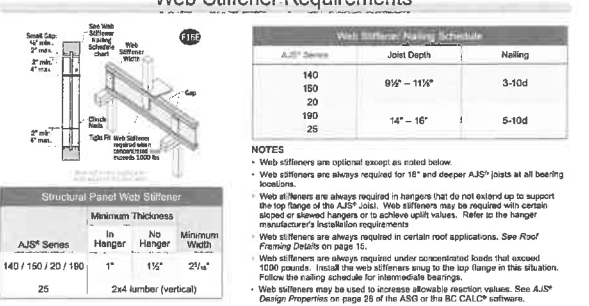
Non-Load Bearing Wall Cantilever Details

AJS® Joists are intended only for load-bearing applications.

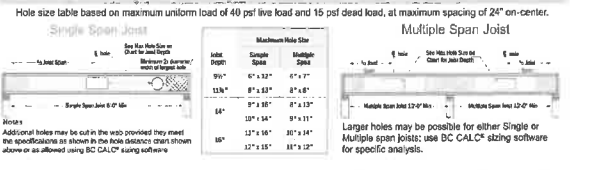


These details apply to cantilevers with uniform loads only. It may be possible to exceed the limitations of these details by analyzing a specific application with the BC CALL® software.

Web Stiffener Requirements

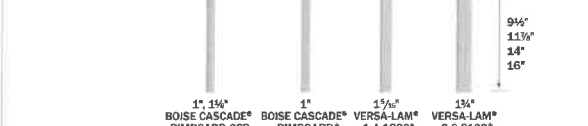


Large Rectangular Holes in AJS® Joists



Boise Cascade Rimboard

Boise Cascade® Rimboard Product Profiles



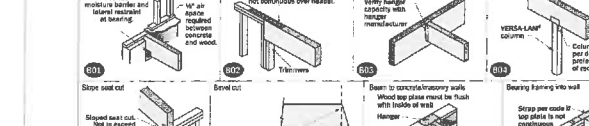
1 1/4" x 1 1/4" Boise Cascade® Rimboard OSB, 1 1/4" x 1 1/4" Boise Cascade® Rimboard 2.0 1300®, 1 1/4" x 1 1/4" Boise Cascade® Rimboard 2.0 1300®.

Boise Cascade Rimboard Properties

| Product | Vertical Load Capacity | | | | Allowable Design Values | | | |
|---|------------------------|----------|----------|----------|-------------------------|-----------|-----------|-----------|
| | 18" Span | 24" Span | 30" Span | 36" Span | Per Joist | Per Joist | Per Joist | Per Joist |
| 1 1/4" x 1 1/4" Boise Cascade® Rimboard OSB | 3300 | 1870 | 1050 | 580 | 300 | 180 | 100 | 55 |
| 1 1/4" x 1 1/4" Boise Cascade® Rimboard 2.0 1300® | 4400 | 3000 | 1700 | 950 | 380 | 230 | 130 | 75 |
| 1 1/4" x 1 1/4" Boise Cascade® Rimboard 2.0 1300® | 6700 | 4300 | 2500 | 1300 | 610 | 370 | 210 | 115 |

Versa-Lam® Beam Details

Multiple Member Connectors



When using multiple joist Versa-Lam® beams to create a wider member, the connection of the joists is as critical as determining the beam size. When side loaded beams are not connected properly, the joists do not support their share of the load and the load-carrying capacity of the full member decreases significantly. The following is an example of how to size and connect a multiple Versa-Lam® beam.

Designing Connections for Multiple Versa-Lam® Members

- Calculate the tributary width that beams is supporting: $12' \times 2 = 24' \times 2 = 48'$
- Use P/F tables on page 30-32 of AISI or BC CALL® to size beams.
- Calculate the maximum load from one side: $48' \times 10 \text{ psf} = 480 \text{ lbs}$
- Use the Multiple Member Connection table. Side Loaded Applications, 1 Versa-Lam®, 3 members.
- The proper connection table needs a capacity greater than the load: 3 members, 3 members, 3 members.

T.D.I.

TECHNICAL DESIGNS IMAGING

Computer Aided Designs

Glenn A. Mitchell
775 MAIN STREET (Route 26), SUITE A2
WEST DENNIS, MA 02670
Work: (508) 360-7506

CERTIFIED DRAFTSMAN @ 1978
- 12 YEARS EXPERIENCE -
- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:
- ARCHITECTURAL - STRUCTURAL - CIVIL - MECHANICAL -

Comments

REVISIONS

| No. | DATE | DSN. | B. |
|-----|--------------------|--------|-------------------------|
| | SEPTEMBER 30, 2020 | G.A.M. | |
| | | | INITIAL DRAWING RELEASE |

CLIENT:

Jb SULLIVAN BUILDERS

McCULLOUGH RESIDENCE

56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

- BOISE -
STRUCTURAL
NOTES &
DETAILS

NOTES-DETAILS

DRAWING NUMBER

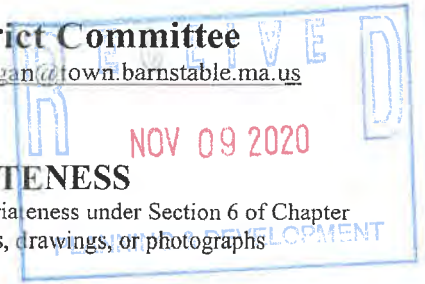
S-6

SHEET 13 OF 13



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us



APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 11-1-20

NOTE: All applications must be signed by the current owner

Owner (print): Craig P Bishop Telephone #: 774 325 6650
 Address of Proposed Work: 1525 Hyannis Rd Village Barnstable Map Lot # _____
 Mailing Address (if different) _____

Owner's Signature Craig P Bishop

Description of Proposed Work: Give particulars of work to be done: Additions to existing structure
Plans included

Agent or Contractor (print): R Scott Jones Telephone #: 508 221 8572
 Address: _____ Email: R5J11@comcast.net
 Contractor/Agent' signature: R Scott Jones

| | |
|-------------------------------|---|
| <i>For committee use only</i> | This Certificate is hereby APPROVED / DENIED |
| Date _____ | Members signatures _____ |
| | |
| | |
| | |
| Conditions of approval _____ | |
| | |

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle other _____
Material: red cedar ___ white cedar other _____ Color: Natural

Chimney Material: _____ Color: _____

Roof Material: (make & style) Architectural Color: Match existing

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards 1x5 1x6 size of casings (1 X 4 min.) _____ color matching green

Rakes 1st member 1x8 2nd member 1x3 Depth of overhang 1 1/2

Window: (make/model) Andersen 400 material Vinyl / wood color wht
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass removable interior ___ None ___

Door style and make: Andersen 400 material Fiberglass Color: wht

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: Aluminum Color: wht

Deck material: wood other material, specify _____ Color: Natural

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

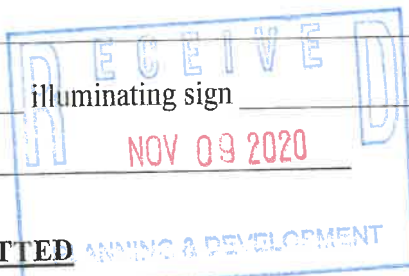
Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____

OTHER INFORMATION: _____



THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name R Scott Jones

5. SIGNS


- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

| | | |
|---|---|----------------------------|
| SIGNED (plan preparer) |  | Print <u>R Scott Jones</u> |
| Date: <u>11-1-20</u> | Tel. Phone no's: <u>508 221 9572</u> | |
| | Email <u>R5J11@comcast.net</u> | |
| NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS | | |
| ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED | | |

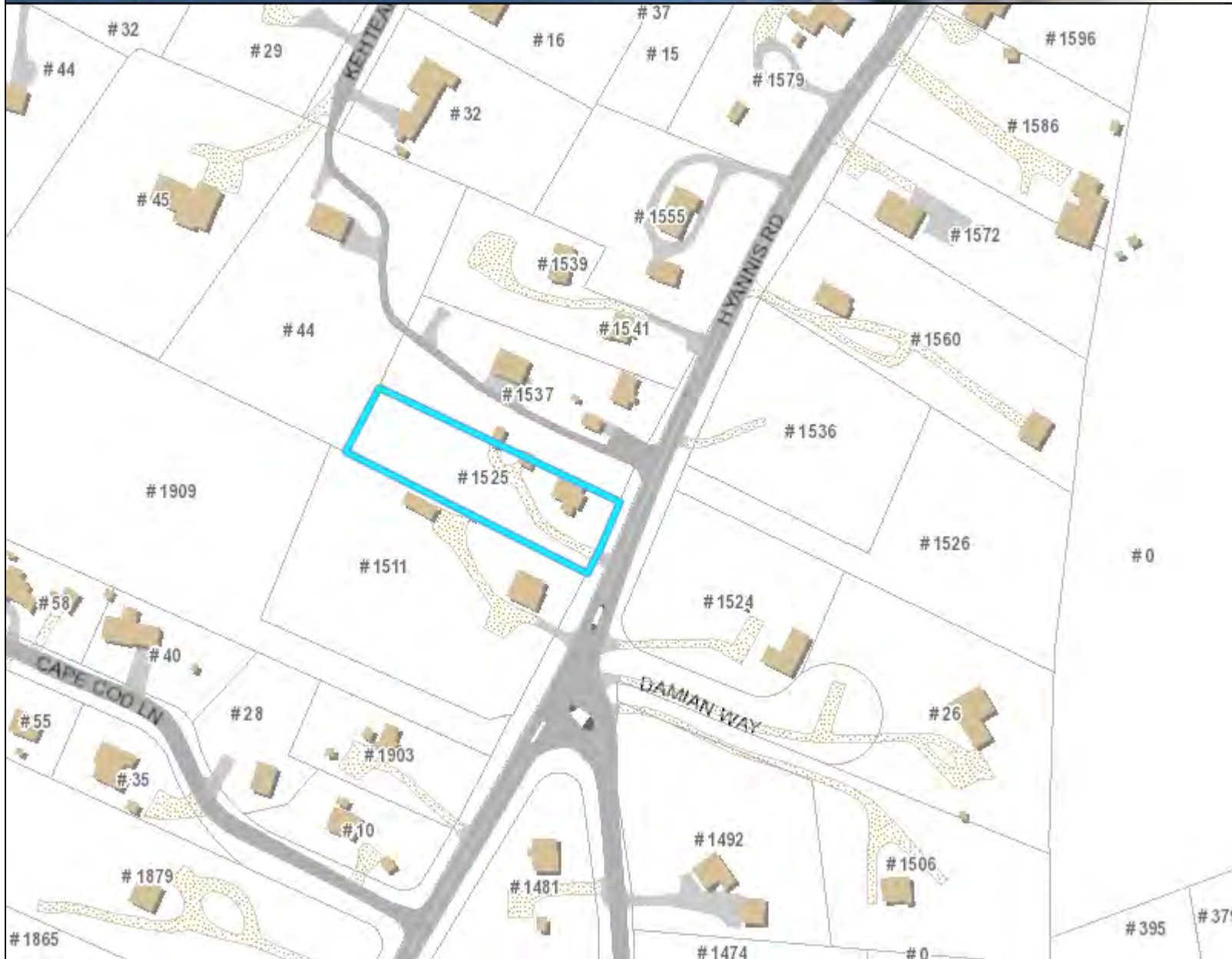
| APPEAL PERIOD | APPROVED PLANS | PLAN PICK UP |
|--|----------------|--------------|
| <p>There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.</p> | | |

| DENIALS |
|---|
| <p>Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.</p> |

| BUILDING PERMITS, OTHER AGENCY CONTACTS |
|--|
| <p>In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.</p> |

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

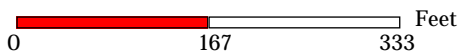
| |
|---|
| <p>QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787</p> |
|---|



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 12/9/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

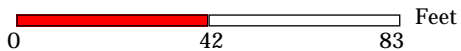
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 12/9/2020



Approx. Scale: 1 inch = 42 feet



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367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 298007

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

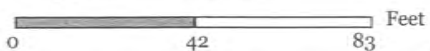
| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|---|----------------------------|-----------------|------------------|------------|-------|------------|
| 298006 | TORRES, EMMERSON & JENNIFER MARSHALL | | 1511 HYANNIS RD | | BARNSTABLE | MA | 02630 |
| 298007 | BISHOP, CRAIG | | PO BOX 159 | | FORESTDALE | MA | 02644-0159 |
| 298008002 | DUGAS, MARCY S TR | MARCY S DUGAS LIVING TRUST | 45 DORCAS DRIVE | | BARNSTABLE | MA | 02630 |
| 298008003 | MURPHY, LINDA & DENIS & GREEN, BARBARA | | PO BOX 1029 | 44 KEHTEAN DRIVE | BARNSTABLE | MA | 02630 |
| 298022 | DAVIS, LEE C JR & BRACKETT, CYNTHIA D | | 1524 HYANNIS RD | | BARNSTABLE | MA | 02630 |



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
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- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
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- Paved Road
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- Streams
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- Water Bodies

Map printed on: 12/1/2020



Approx. Scale: 1 inch = 42 feet



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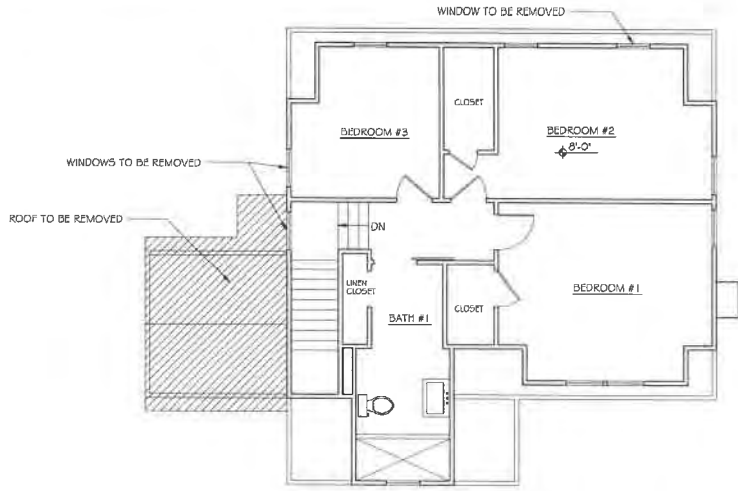
Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



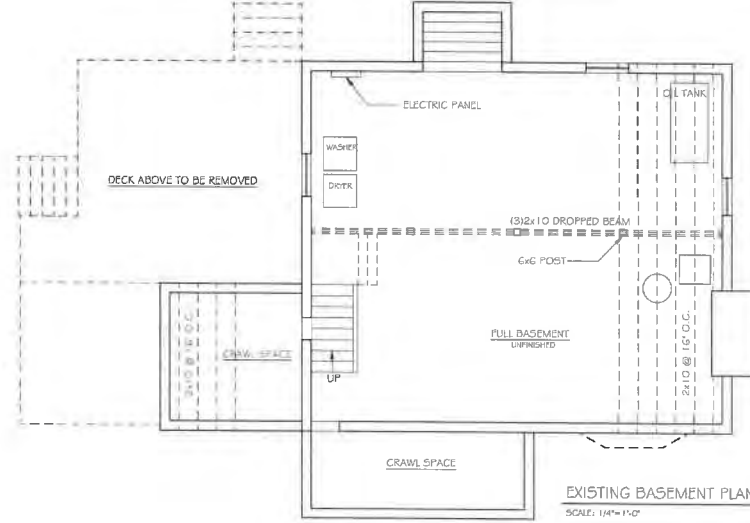


EXISTING SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

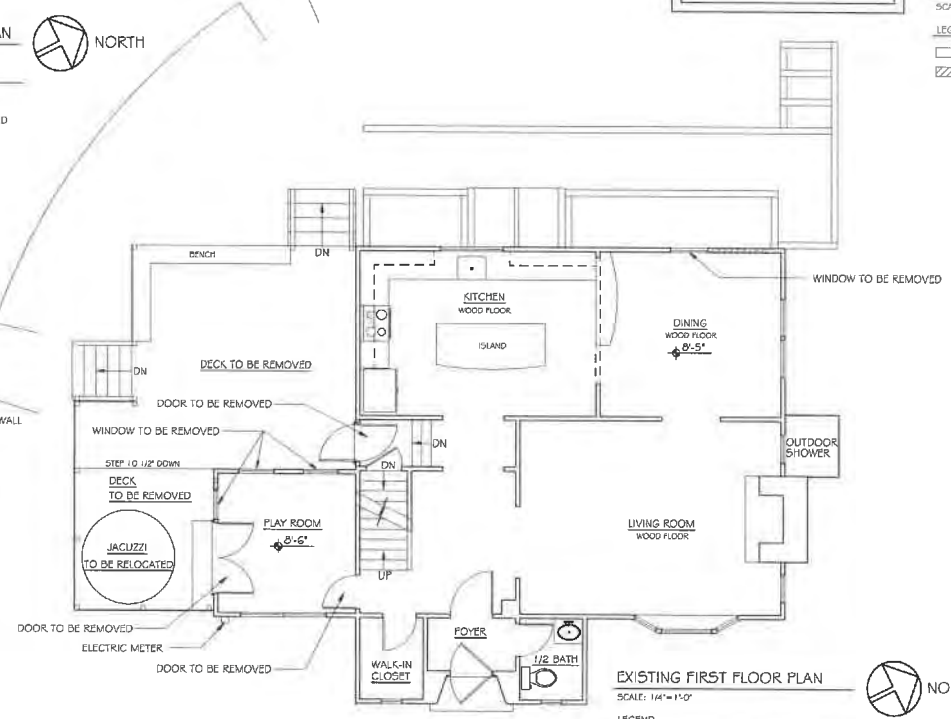


EXISTING BASEMENT PLAN

SCALE: 1/4"=1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED



EXISTING FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

LEGEND

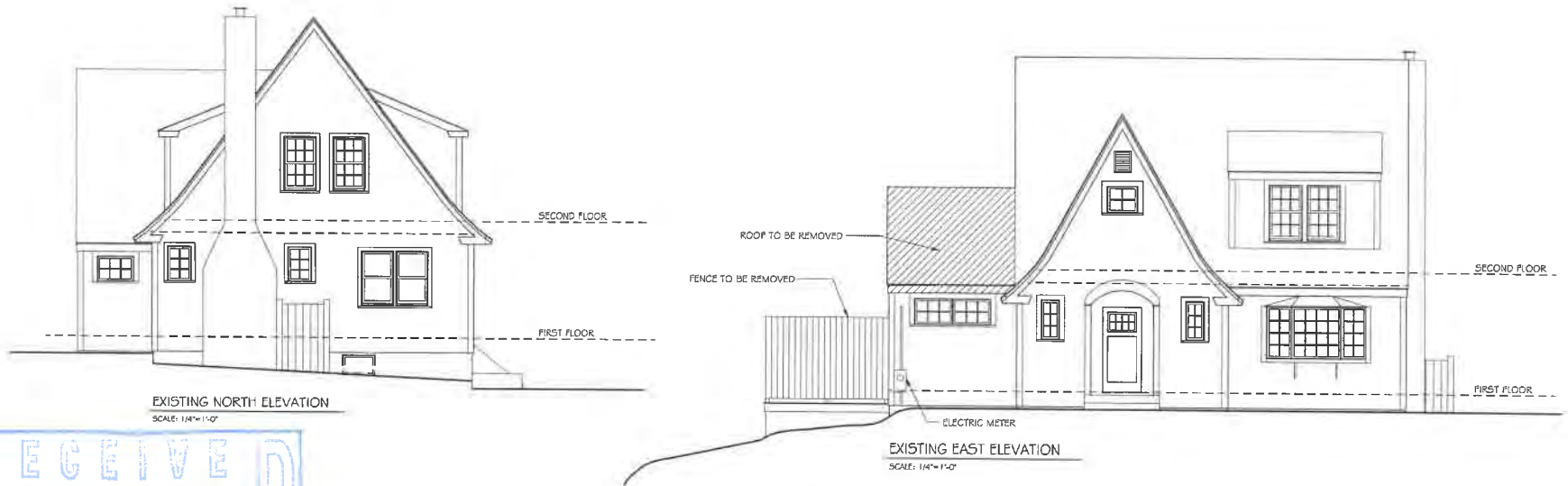
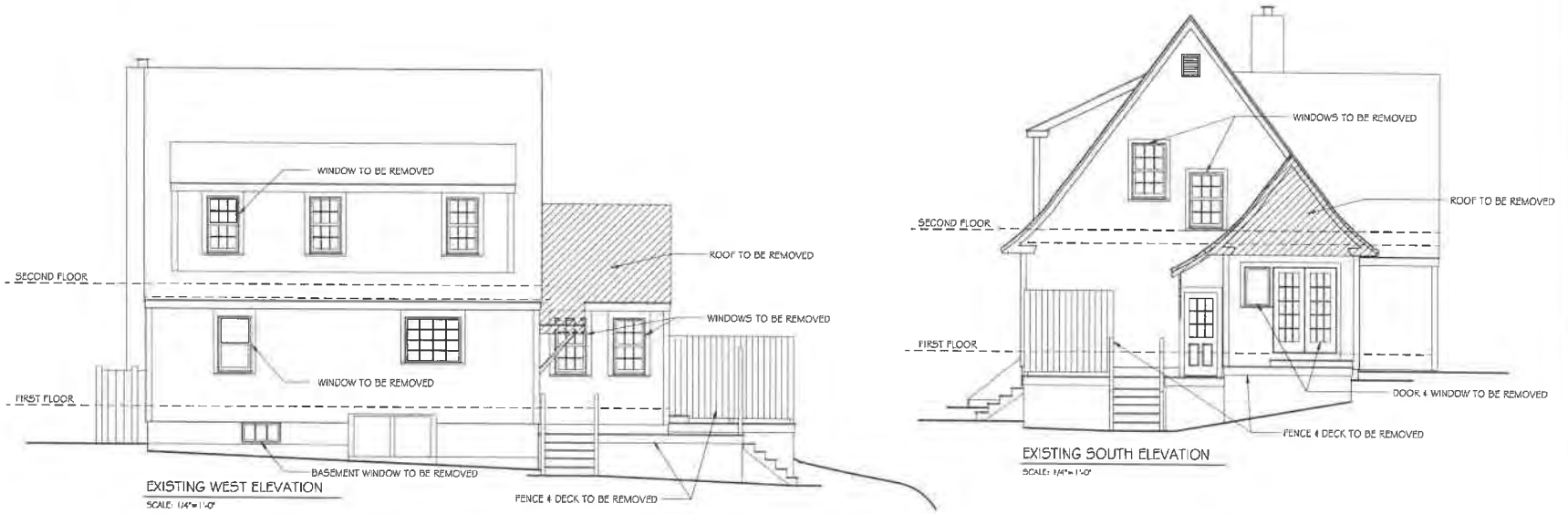
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED



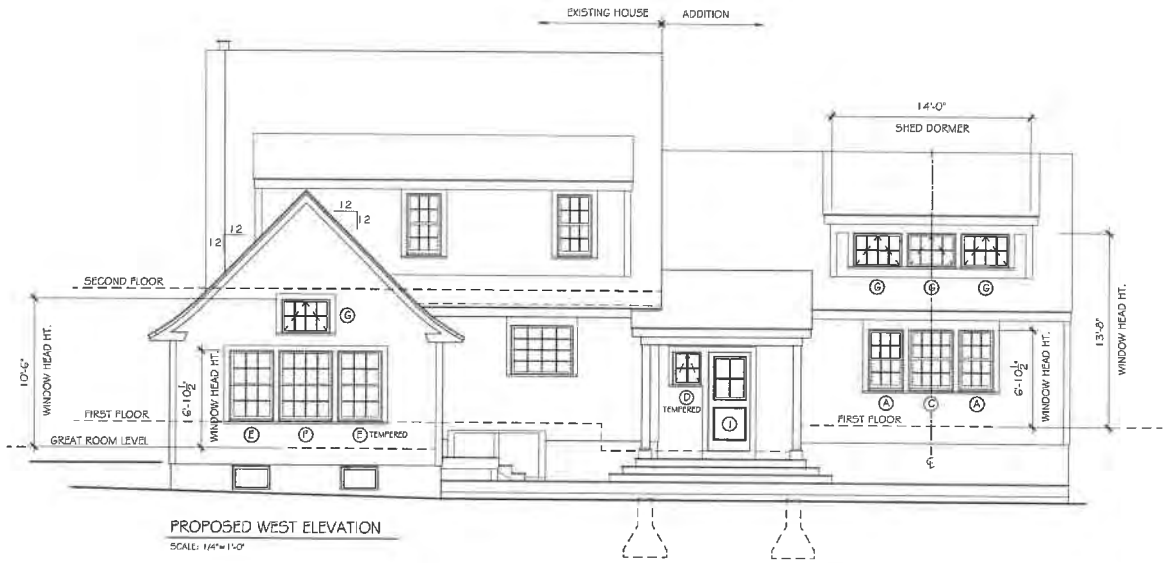
R
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 Phone: (508) 308 8614

Date: 06.11.2020

Proposed East & West Elevations
 Bishop Residence
 1525 Hyannis Rd., Barnstable, MA 02630

A-4

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WINDOW SCHEDULE

| ID | MANUF. | UNIT | TYPE | ROUGH OPENING W x H |
|----|------------------------|------------------|--------------------------|------------------------|
| A | ANDERSEN 400 SERIES | TW2442 | TILT-WASH DOUBLE-HUNG | 2'-6 1/8" x 4'-4 7/8" |
| B | ANDERSEN 400 SERIES | A31 | AWNING | 3'-0 1/2" x 2'-0 5/8" |
| C | ANDERSEN 400 SERIES | TW3042 | TILT-WASH DOUBLE-HUNG | 3'-2 1/8" x 4'-4 7/8" |
| D | ANDERSEN 400 SERIES | AW21 TEMPERED | AWNING | 2'-0 5/8" x 2'-4 7/8" |
| E | ANDERSEN 400 SERIES | TW30410 | TILT-WASH DOUBLE-HUNG | 3'-2 1/8" x 5'-0 7/8" |
| F | ANDERSEN 400 SERIES | TW30410 | TILT-WASH DOUBLE-HUNG | 3'-10 1/8" x 5'-0 7/8" |
| G | ANDERSEN 400 SERIES | AW351 | AWNING | 3'-5 3/8" x 2'-4 7/8" |

NOTES: BUILDINGS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH AMENDMENTS.
 CLIMATE ZONE: 5A
 PENETRATION REQUIREMENTS: WINDOW U-FACTOR ≤ 0.30
 WINDOW SHGC: NO REQUIREMENT

GLASS OPTION: HIGH-PERFORMANCE LOW-E4 WITH ARGON
 GRILLES: FINELIGHT BETWEEN THE GLASS
 WINDOW FINISH (INTERIOR): WHITE, JAMB LINERS: WHITE
 WINDOW FINISH (EXTERIOR): WHITE
 AWNING HARDWARE: TRADITIONAL FOLDING; WHITE
 DOUBLE-HUNG TILT-WASH 400 SERIES HARDWARE: STANDARD; WHITE
 FULL CONVENTIONAL INSECT SCREENS FOR ALL OPERABLE UNITS

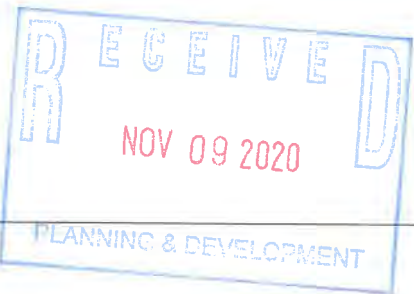
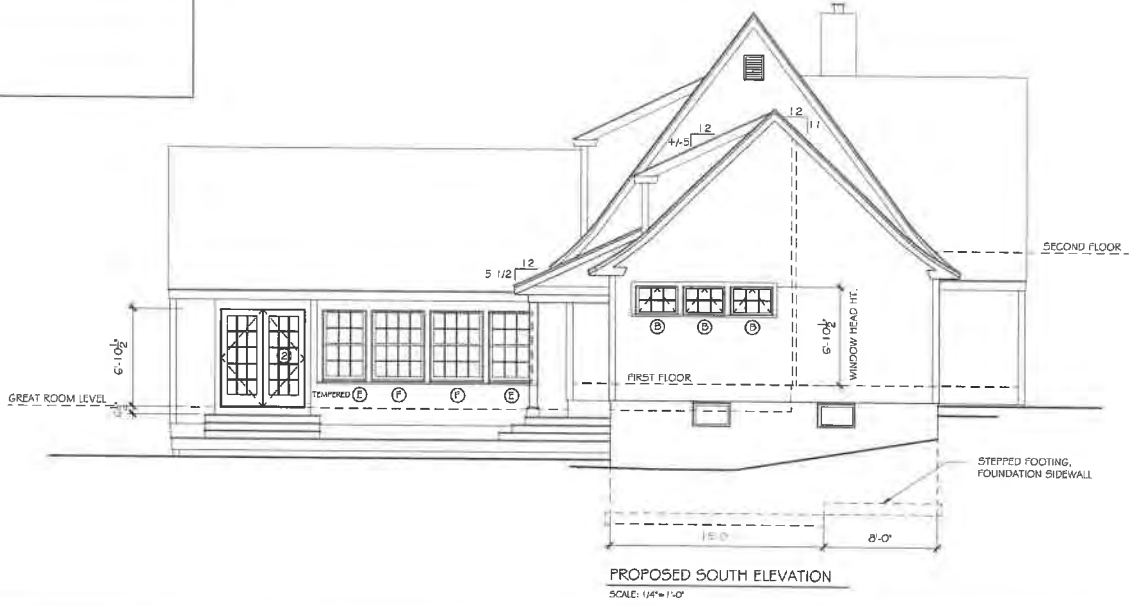
ANDERSEN ROUGH OPENING DIMENSIONS ARE THE MINIMUM AMOUNT OF SPACE NEEDED BETWEEN THE WINDOW OR PATIO DOOR AND THE BUILDING STRUCTURE. LEAVE AT LEAST 1/4" SPACE AROUND THE WINDOW FOR FOAM INSULATION.

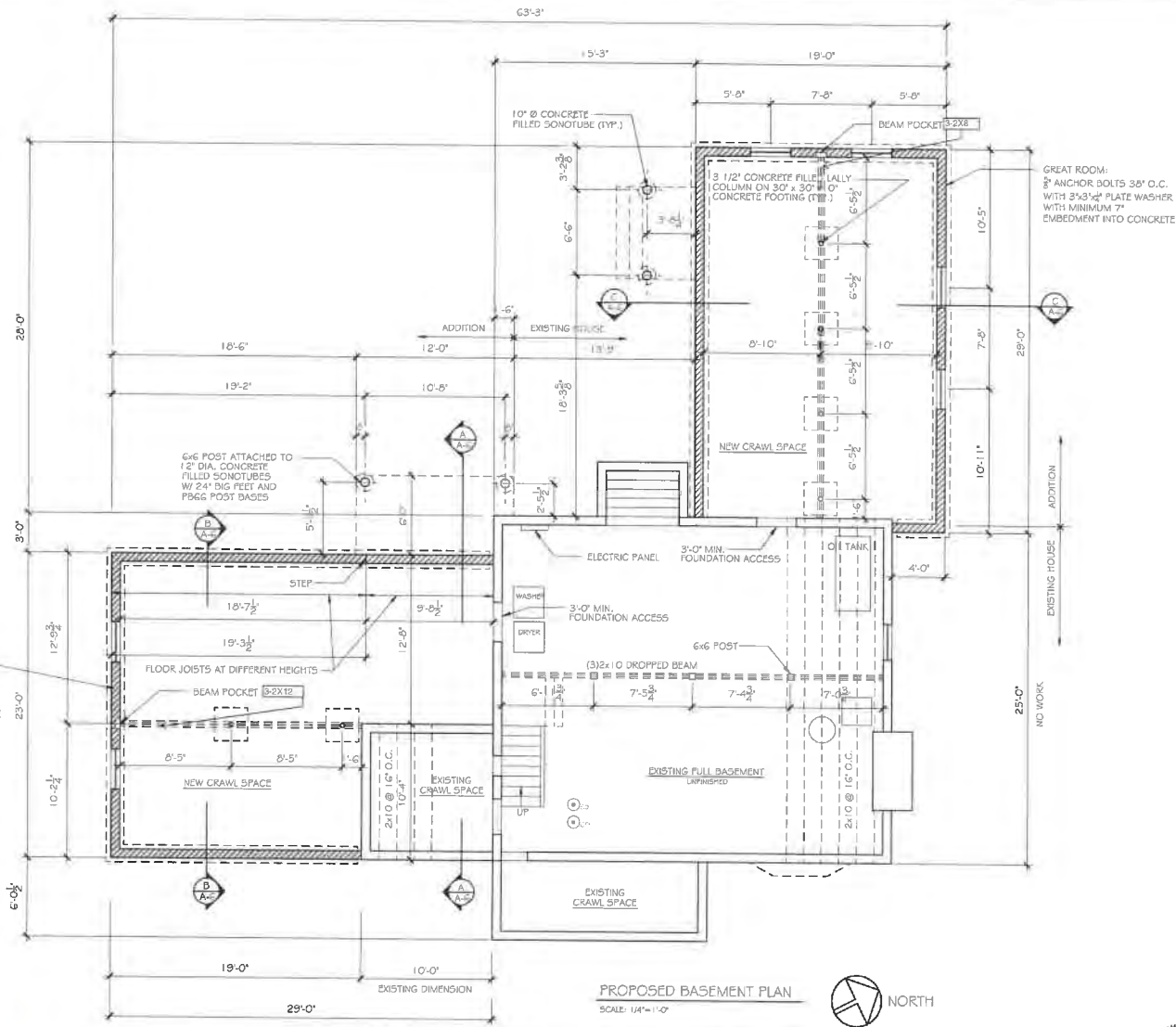
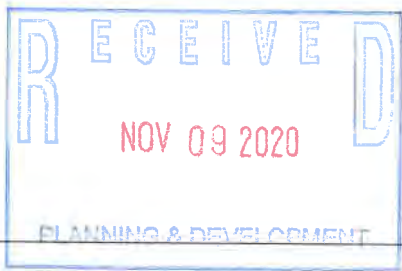
FOR GRILLE PATTERNS AND VENTING CONFIGURATIONS SEE ELEVATIONS.

EXTERIOR DOOR SCHEDULE

| ID | MANUF. | UNIT | TYPE | UNIT SIZE W x H | ROUGH OPENING W x H |
|----|------------------------|----------|---|-------------------------|------------------------|
| 1 | | | FIBERGLASS EXTERIOR DOOR 4-LIGHT 1-PANEL INSWING | 3'-0" x 7'-0" | 3'-2 1/2" x 7'-2 1/2" |
| 2 | ANDERSEN 400 SERIES | FW160611 | FRENCHWOOD HINGED PATIO DOOR | 5'-11 1/4" x 6'-10 3/8" | 6'-0" x 6'-11" |
| 3 | | | FIBERGLASS EXTERIOR DOOR 9-LIGHT 1-PANEL INSWING | 2'-6" x 6'-8" | 2'-8 1/2" x 6'-10 1/2" |

NOTES: GRILLE PATTERN: SEE ELEVATIONS
 ANDERSEN 400 SERIES FRENCHWOOD HINGED PATIO DOOR
 GLASS OPTION: LOW-E4 TEMPERED
 GRILLES: FINELIGHT (GRILLES BETWEEN THE GLASS)
 PATIO DOOR FINISH (INTERIOR): WHITE
 PATIO DOOR FINISH (EXTERIOR): WHITE
 HARDWARE FINISH: TRIBECCA, WHITE
 LOCKING SYSTEM: FOOT LOCK
 HINGED INSECT SCREEN





ALARM LEGEND

| | | |
|---|---|---|
| ○ | ○ | ○ |
| ○ | ○ | ○ |
| ○ | ○ | ○ |

PROPOSED BASEMENT PLAN
 SCALE: 1/4" = 1'-0"
LEGEND
 [Symbol] - EXISTING WALL TO REMAIN
 [Symbol] - NEW WALL
LEGEND (INFORMATION BASED ON SITE PLAN FROM BSC GROUP DATED MAY 14, 2020)
 [Symbol] - TOP OF FOUNDATION WALL: 80.6'
 [Symbol] - TOP OF FOUNDATION WALL: 67.9'



LA CASA Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508) 308 5614

Date: 06/11/2020

Proposed Basement Plan

Bishop Residence
 1525 Hyannis Rd., Barnstable, MA 02630

A-1



Michael Cunniff
 REGISTERED PROFESSIONAL ENGINEER
 No. 24754
 State of Massachusetts
 8/6/2020 STRUCT. ONLY

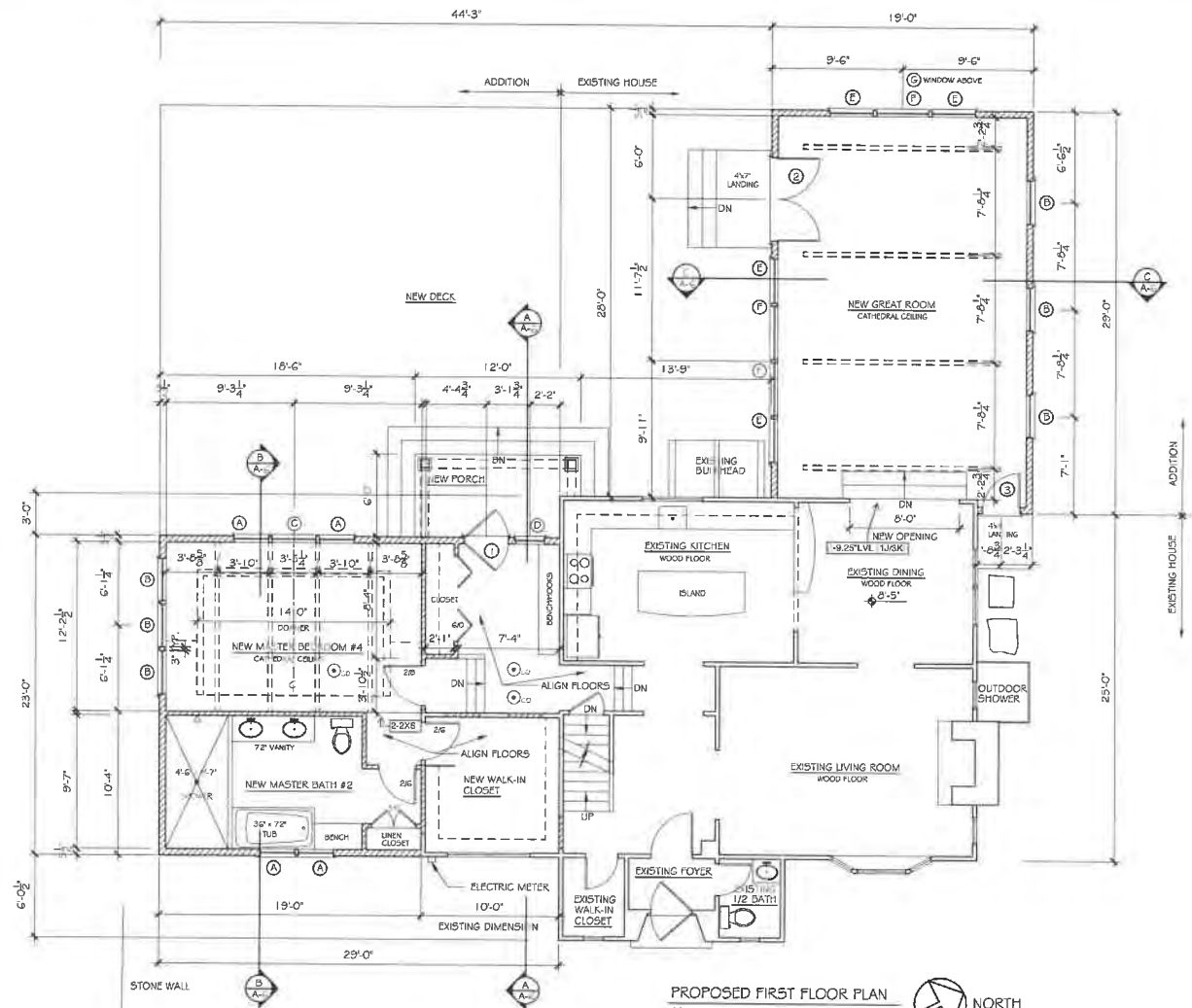
LA CASA Studio
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 Phone: (508) 308 5614

Date: 06.11.2020

Proposed First Floor Plan

Bishop Residence
 1525 Hyannis Rd., Barnstable, MA 02630

A-2



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

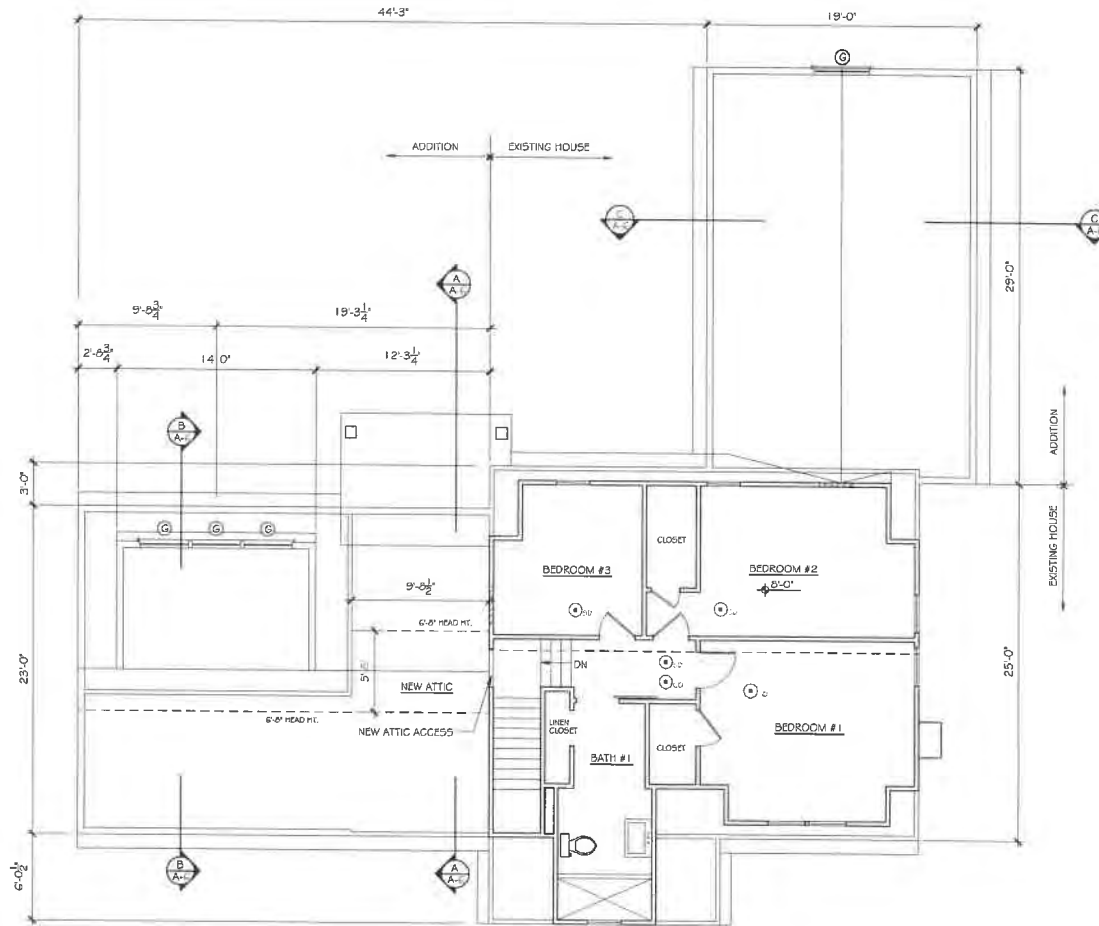
- LEGEND
- EXISTING WALL TO REMAIN
 - NEW WALL

- ALARM LEGEND
- SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - HEAT DETECTOR

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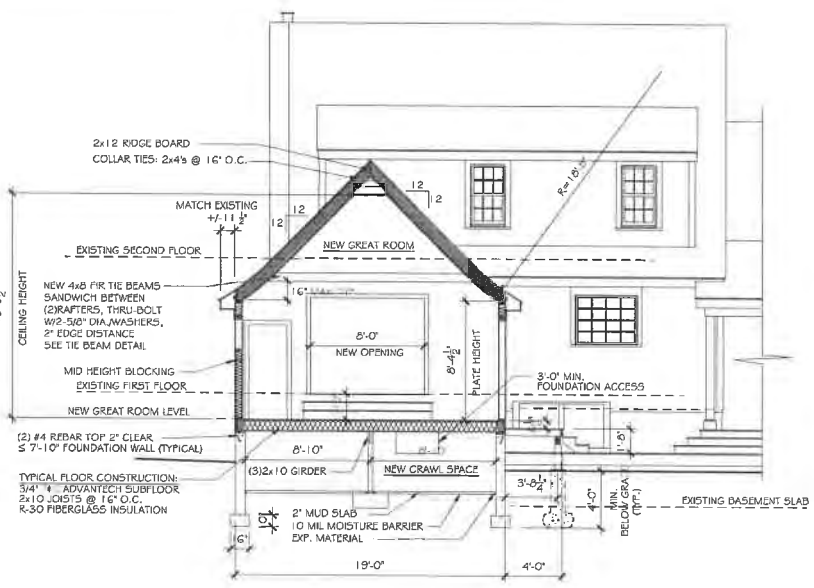


PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

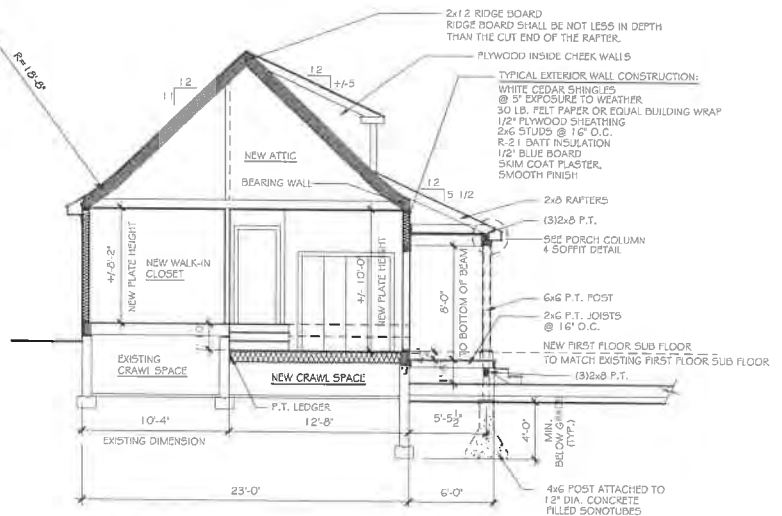


| ALARM LEGEND | |
|--------------|----------------------------|
| | — SMOKE DETECTOR |
| | — CARBON MONOXIDE DETECTOR |
| | — HEAT DETECTOR |

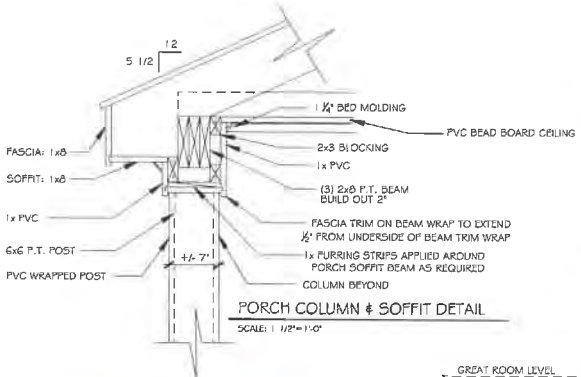
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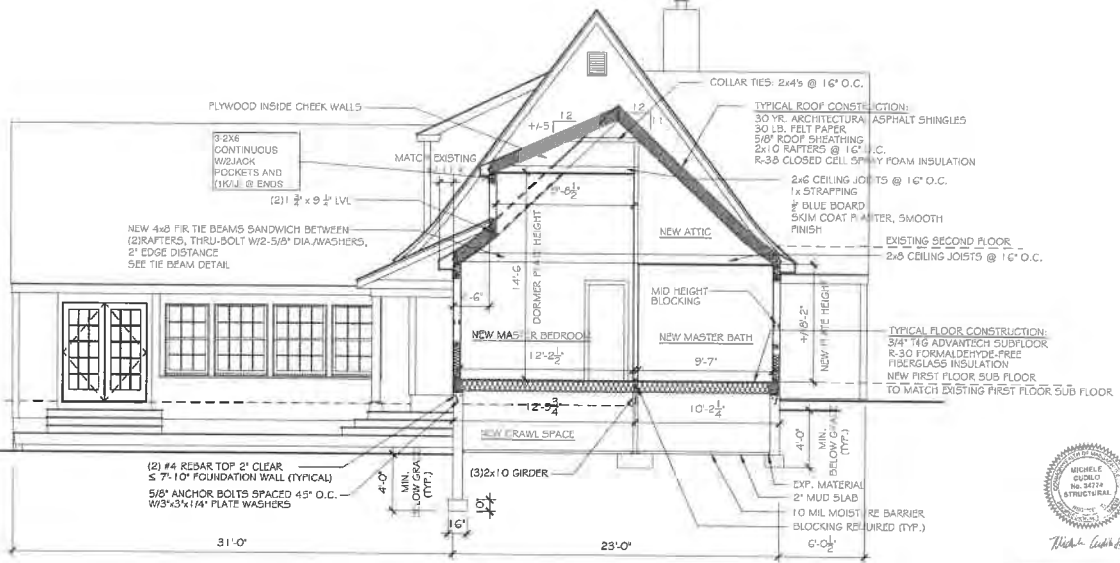
CC CROSS SECTION @ GREAT ROOM
 SCALE: 1/4"=1'-0"
 MID-HT. BLOCKING REQUIRED >8'-0" STUDS
 BALLOON FRAME GABLE WALLS



AA CROSS SECTION @ ADDITION
 SCALE: 1/4"=1'-0"
 NEW INTERIOR WALLS: 2x4 STUD
 NEW EXTERIOR WALLS: 2x6 STUD
 PROVIDE ATTIC ACCESS OPENING TO ATTIC AREAS NOT LESS THAN 2'2X3'0". SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.
 MID-HT. BLOCKING REQUIRED >8'-0" STUDS



PORCH COLUMN & SOFFIT DETAIL
 SCALE: 1/2"=1'-0"



EE CROSS SECTION @ MASTER BEDROOM
 SCALE: 1/4"=1'-0"
 MID-HT. BLOCKING REQUIRED >8'-0" STUDS

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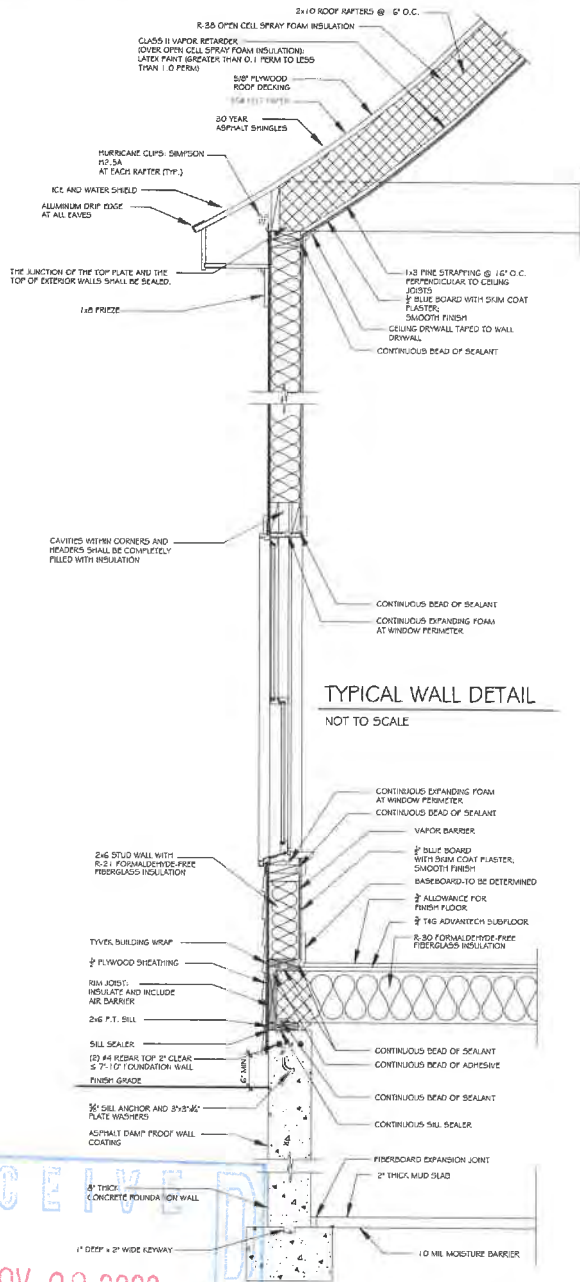


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Date: 06.11.2020

Proposed North & South Elevations
 Bishop Residence
 1525 Hyannis Rd., Barnstable, MA 02630

A-6



AIR BARRIER AND INSULATION INSTALLATION

GENERAL REQUIREMENTS:

A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.

CEILING/ATTIC:

THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.

WALLS:

THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED. CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.

WINDOWS, SKYLIGHTS AND DOORS:

THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.

RIM JOISTS:

RIM JOISTS SHALL INCLUDE THE AIR BARRIER. RIM JOISTS SHALL BE INSULATED.

FLOORS (INCLUDING ABOVE-GARAGE AND CANTILEVERED FLOORS):

THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION. FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.

CRAWL SPACE WALLS:

EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED. WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.

SHAFTS, PENETRATIONS:

DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.

NARROW CAVITIES:

BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.

GARAGE SEPARATION:

AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.

RECESSED LIGHTING:

RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.

PLUMBING AND WIRING:

BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.

SHOWER/TUB ON EXTERIOR WALL:

THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS. EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.

ELECTRICAL/PHONE BOX ON EXTERIOR WALLS:

THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.

HVAC REGISTER BOOTS:

HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.

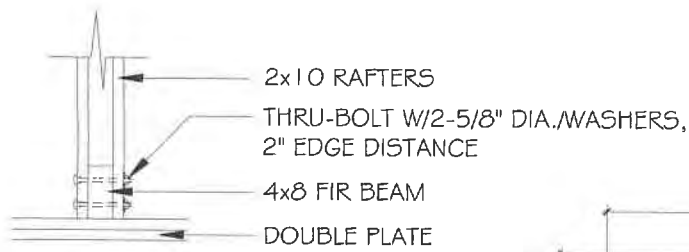
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Phone: (508) 900 0614

Date: 08.11.2020

Typical Wall Detail
Bishop Residence
1525 Hyannis Rd., Barnstable, MA 02630

A-7



TIE BEAM DETAIL

SCALE: 1 1/2" = 1'-0"



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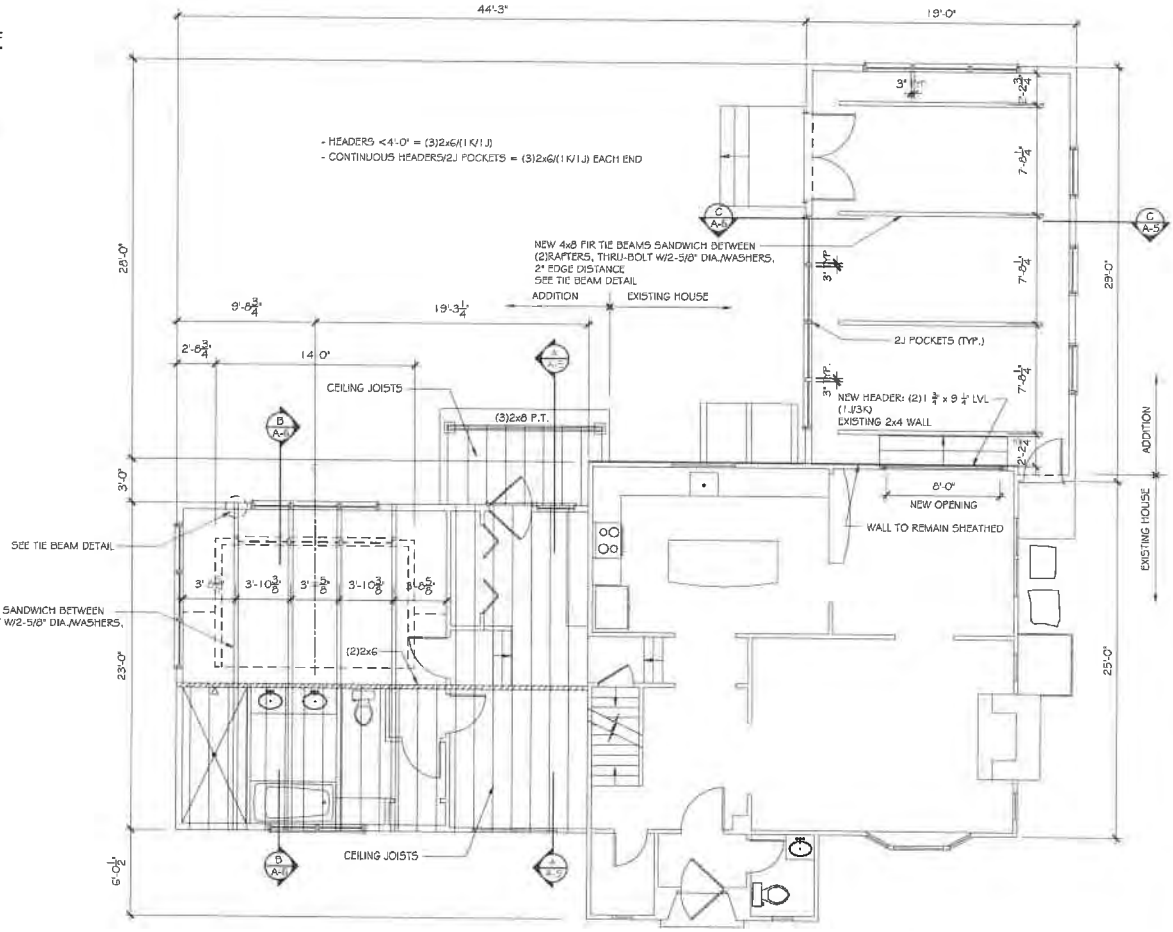
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PO Box 1106 - Harwich, MA 02645
Phone: (508) 300 5614

Date: 08.11.2020

Proposed Second Floor Framing Plan

Bishop Residence
1525 Hyannis Rd., Barnstable, MA 02630

S-2



PROPOSED SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

LEGEND

▨ - BEARING WALL



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ONLY

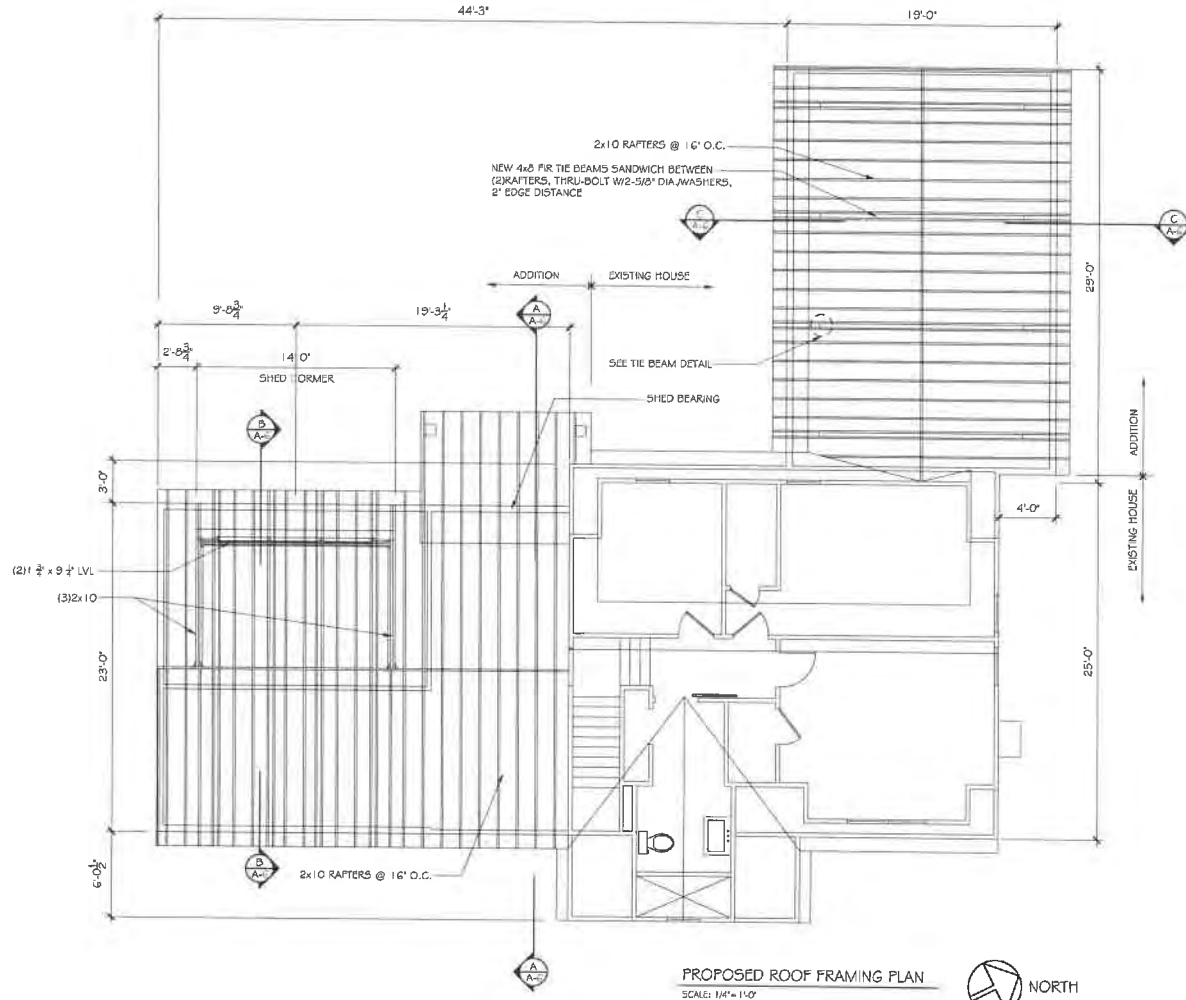
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Proposed Roof Framing Plan

Bishop Residence
1525 Hyannis Rd., Barnstable, MA 02630

S-3



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MASTER BR GREAT RM.

Check Compliance

1.1 SCOPE
 Wind Speed (3-sec. gust) 110 mph
 Wind Exposure Category B

1.2 APPLICABILITY
 Number of Stories → (Fig 2) 20' 12" = 2 stories ≤ 2 stories
 Roof Pitch (Fig 2) 12:12 ≤ 12:12
 Mean Roof Height (Fig 2) 33' ≤ 33'
 Building Width, W (Fig 3) 23' 19" ≤ 80'
 Building Length, L (Fig 3) 29' 29" ≤ 80'
 Building Aspect Ratio (L/W) (Fig 4) 1.26 : 1 ≤ 3:1
 Nominal Height of Tallest Opening² (Fig 4) 6'-8" ≤ 6'-8"

1.3 FRAMING CONNECTIONS
 General compliance with framing connections (Table 2)

2.1 FOUNDATION
 Foundation Walls meeting requirements of 780 CMR 5404.1
 Concrete
 Concrete Masonry

2.2 ANCHORAGE TO FOUNDATION^{1,3}
 5/8" Anchor Bolts imbedded or 5/8" Proprietary Mechanical Anchors as an alternative in concrete only
 Bolt Spacing - general → (Table 4) 4.5 38 in.
 Bolt Spacing from end/joint of plate (Fig 5) 6'-12" in. ≤ 6" - 12"
 Bolt Embedment - concrete (Fig 5) 7 in. ≥ 7"
 Bolt Embedment - masonry (Fig 5) - in. ≥ 15"
 Plate Washer (Fig 5) ≥ 3" x 3" x 1/4"

3.1 FLOORS
 Floor framing member spans checked (per 780 CMR Chapter 55)
 Maximum Floor Opening Dimension (Fig 6) 6'-12" ft ≤ 12' or L/2 or W/2
 Full Height Wall Studs at Floor Openings less than 2' from Exterior Wall (Fig 6)
 Maximum Floor Joist Setbacks
 Supporting Loadbearing Walls or Shearwall (Fig 7) ENGINEERED 2.5 ft ≤ d
 Maximum Cantilevered Floor Joists
 Supporting Loadbearing Walls or Shearwall (Fig 8) SHED DOWN CHIEK WALLS ft ≤ d
 Floor Bracing at Endwalls (Fig 9)
 Floor Sheathing Type (per 780 CMR Chapter 55)
 Floor Sheathing Thickness (per 780 CMR Chapter 55) 3/4 in.
 Floor Sheathing Fastening (Table 2) 8 d nails at 6 in edge / 12 in field

4.1 WALLS
 Wall Height
 Loadbearing walls (Fig 10 and Table 5) 4'-10" ft ≤ 10'
 Non-Loadbearing walls (Fig 10 and Table 5) 4'-18.4" ft ≤ 20'
 Wall Stud Spacing (Fig 10 and Table 5) 16 in. ≤ 24" o.c.
 Wall Story Offsets (Figs 7 & 8) - ft ≤ d

4.2 EXTERIOR WALLS³
 Wood Studs
 Loadbearing walls → (Table 5) 2x 6 @ 10 ft - in.
 Non-Loadbearing walls (Table 5) 2x 6 @ 18 ft 5 in.
 Gable End Wall Bracing¹
 Full Height Endwall Studs → (Fig 10) ENGINEERED TIES
 WSP Attic Floor Length (Fig 11) - ft ≥ W/3
 Gypsum Ceiling Length (if WSP not used) (Fig 11) - ft ≥ 0.9W
 2 x 4 Continuous Lateral Brace @ 6 ft. o.c. (Fig 11)
 Double Top Plate
 Splice Length 29' WALL: 4' (Fig 13 and Table 6) 29' WALL: 4 FT.
 Splice Connection (no. of 16d common nails) (10) (Table 6) (10)



Michele Cudilo
 8/27/20

12020-97

Massachusetts Checklist for Compliance (780 CMR 5301.2.1.1)

MASTER BR GREAT RM

| | | | |
|--|---|-------------------------------|---------|
| Loadbearing Wall Connections | | | |
| Lateral (no. of endnailed 16d common nails) | (Table 7) | 2 | |
| Non-Loadbearing Wall Connections | | | |
| Lateral (no. of endnailed 16d common nails) | (Table 8) | 2 | |
| Load Bearing Wall Openings (record largest opening but check all openings for compliance to Table 9) | | | |
| Header Spans | (Table 9) | 3 ft 10 in. ≤ 11' | |
| Sill Plate Spans | (Table 9) | 3 ft 10 in. ≤ 11' | |
| Full Height Studs (no. of studs) | (Table 9) | (1) | |
| Non-Load Bearing Wall Openings (record largest opening but check all openings for compliance to Table 9) | | | |
| Header Spans | (Table 9) | 3 ft 10 in. ≤ 12' | |
| Sill Plate Spans | (Table 9) | 3 ft 10 in. ≤ 12' | |
| Full Height Studs (no. of studs) | (Table 9) | (1) | |
| Exterior Wall Sheathing to Resist Uplift and Shear Simultaneously ⁴ | | | |
| Minimum Building Dimension, W = 23' | | | |
| Nominal Height of Tallest Opening ² | | 6'8" ≤ 6'8" | |
| Sheathing Type | (note 4) | WSP | |
| Edge Nail Spacing | (Table 10 or note 4 if less) | 3 in. | |
| Field Nail Spacing | (Table 10) | 12 in. | |
| Shear Connection (no. of 16d common nails) | (Table 10) | 4/FT | |
| Percent Full-Height Sheathing ³ = 12% | (Table 10) | 1 ST 59% = 11.2' | OK |
| 5% Additional Sheathing for Wall with Opening > 6'8" (Design Concepts) | | | |
| Maximum Building Dimension, L = 29' | | | |
| Nominal Height of Tallest Opening ² | | 6'8" ≤ 6'8" | |
| Sheathing Type | (note 4) | WSP | |
| Edge Nail Spacing | (Table 11 or note 4 if less) | 3 in. | |
| Field Nail Spacing | (Table 11) | 12 in. | |
| Shear Connection (no. of 16d common nails) | (Table 11) | 4/FT | |
| Percent Full-Height Sheathing ³ = 10.4% | (Table 11) | 1 ST 31% = 9.0' | OK |
| 5% Additional Sheathing for Wall with Opening > 6'8" (Design Concepts) | | | |
| Wall Cladding | | | |
| Rated for Wind Speed? | | | |
| 5.1 ROOFS | | | |
| Roof framing member spans checked? | (For Rafters use AWC Span Tool, see BBRs Website) | | |
| Roof Overhang | (Figure 19) | 42 ft ≤ smaller of 2' or L/3 | |
| Truss or Rafter Connections at Loadbearing Walls | | | |
| Proprietary Connectors | | | |
| Uplift | (Table 12) | U = 260 | SIMASON |
| Lateral | (Table 12) | L = 176 | H2.5A |
| Shear | (Table 12) | S = 77 | |
| Ridge Strap Connections, if collar ties not used per page 21 | (Table 13) | T = | LSTA/B |
| Gable Rake Outlooker | (Figure 20) | N/A ft ≤ smaller of 2' or L/2 | |
| Truss or Rafter Connections at Non-Loadbearing Walls | | | |
| Proprietary Connectors | | | |
| Uplift | (Table 14) | U = - lb. | |
| Lateral (no. of 16d common nails) | (Table 14) | L = - lb. | |
| Roof Sheathing Type | (per 780 CMR Chapters 58 and 59) | | |
| Roof Sheathing Thickness | | 1/16 in. ≥ 7/16" WSP | |
| Roof Sheathing Fastening | (Table 2) | Ed @ 6" o/c Edge & Field | |

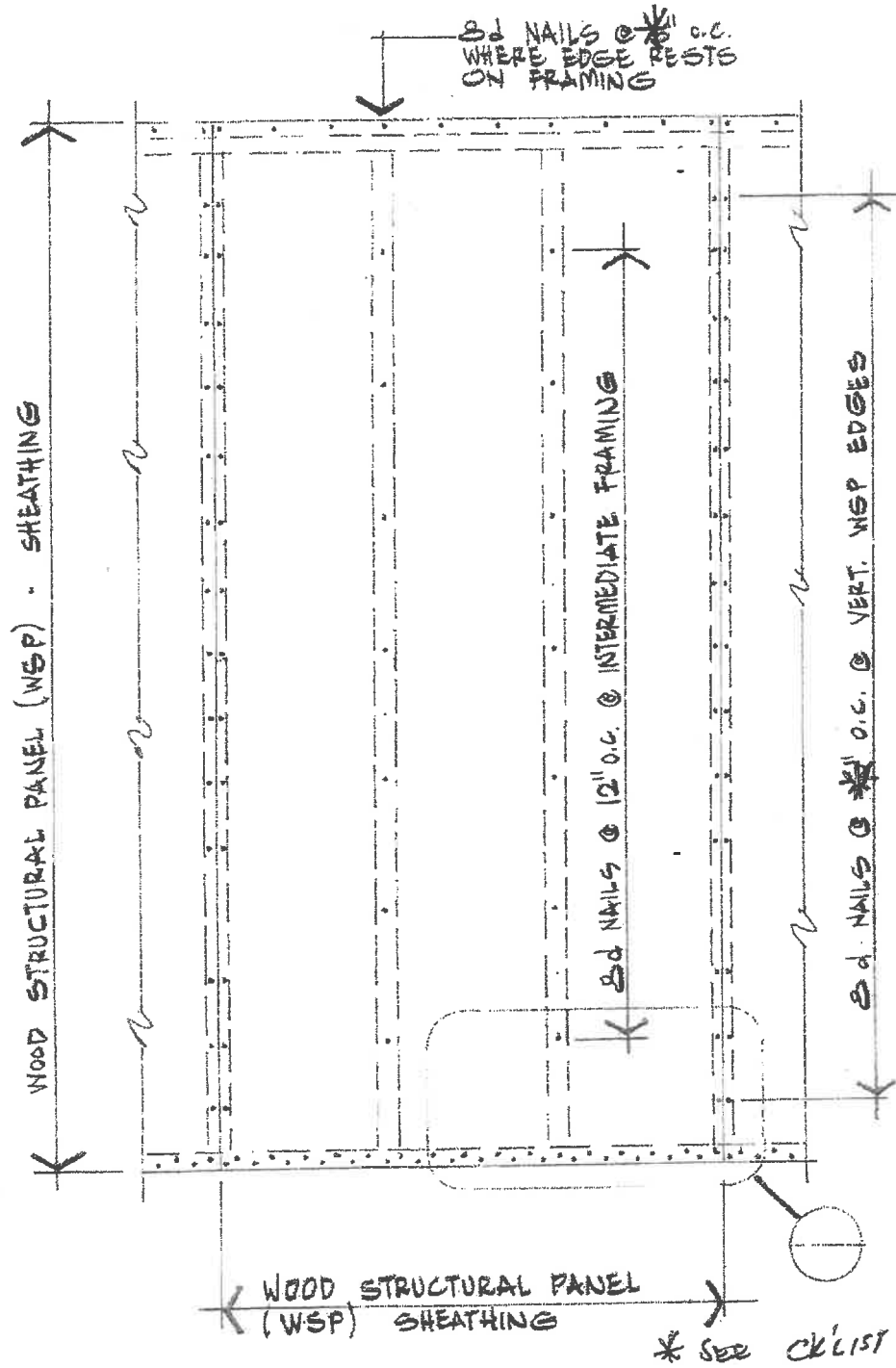
Notes:

- This checklist must be met in its entirety, excluding the specific exception noted in 2, to comply with the requirements of 780 CMR 5301.2.1.1 Item 1. If the checklist is met in its entirety then the following metal straps and hold downs are not required per the WFCM 110 mph Guide:
 - Steel Straps per Figure 5
 - 20 Gage Straps per Figure 11
 - Uplift Straps per Figure 14
 - All Straps per Figure 17
 - Corner Stud Hold Downs per Figure 18a
- Exception: Opening heights of up to 8 ft. shall be permitted when 5% is added to the percent full-height sheathing requirements shown in Tables 10 and 11.
- The bottom sill plate in exterior walls shall be a minimum 2 in. nominal thickness. pressure treated #2-grade.

12020 - 97

Michelle Kudrycki
 8/27/20 P.E.

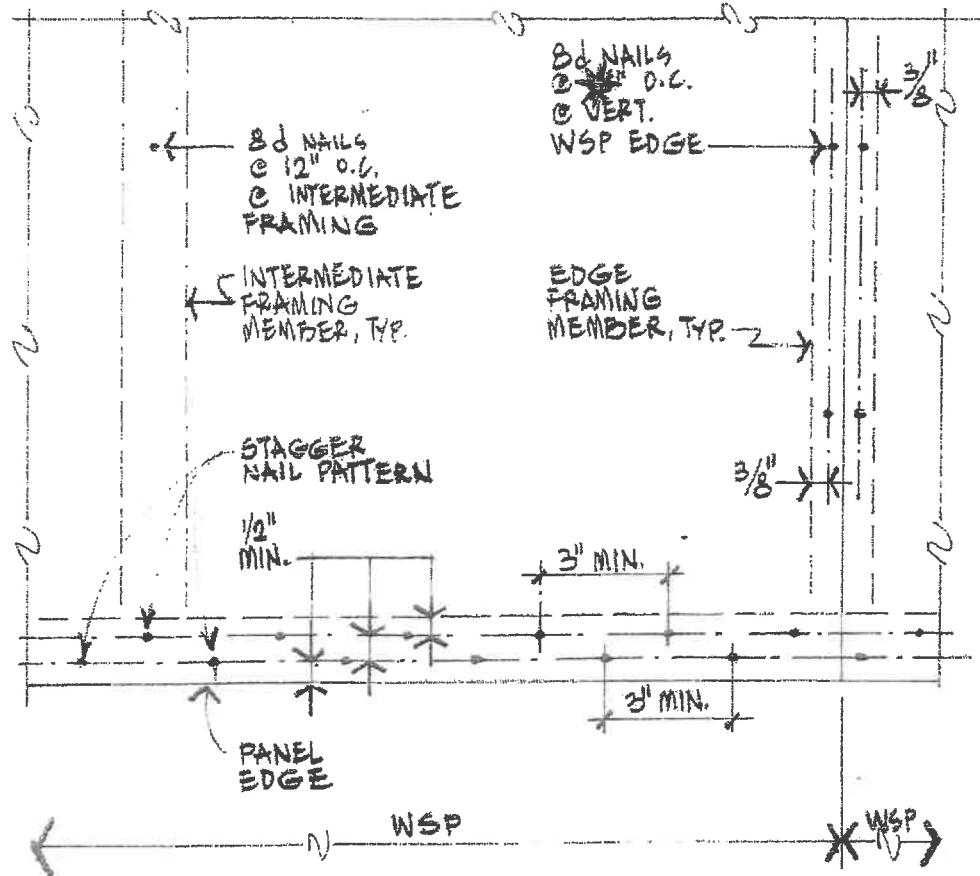




WSP ATTACHMENT

NOT TO SCALE

FOR VERTICAL AND HORIZONTAL ATTACHMENT



WSP ATTACHMENT

NOT TO SCALE

FOR VERT. AND HORIZ. ATTACHMENT

* PER CK'LIST

NOTES:

Wood Structural Panels shall be minimum thickness of 7/16" and be installed as follows:

- i. Panels shall be installed with strength axis parallel to studs.
- ii. All horizontal joints shall occur over and be nailed to framing.
- iii. On single story construction, panels shall be attached to bottom plates and top member of the double top plate.
- iv. On two story construction, upper panels shall be attached to the top member of the upper double top plate and to band joist at bottom of panel. Upper attachment of lower panel shall be made to band joist and lower attachment made to lowest plate at first floor framing.
- v. Horizontal nail spacing at double top plates, band joists, and girders shall be a double row of 8d staggered at 3 inches on center per figures below : Vertical and Horizontal Nailing for Panel Attachment

FOUNDATIONS

1. All workmanship to conform to the requirements of the Massachusetts State Building Code, latest edition.
2. For site location and grading information, see Site Plan, by others.
3. Assumed net allowable soil bearing capacity, $q = 3000$ psf, for a medium sand/gravel composition. Other soils encountered, contact the Engineer of Record.
4. **Concrete:** Minimum 28 day strength, $f'c = 3000$ psi, 3/4" aggregate, designed per American Concrete Institute Code, latest issue, maximum slump = 4".
 - a.) Anchor bolts ASTM A307 galvanized, min. 5/8" diameter, 12" long, w/ 2-1/2" hook spaced per Code Checklist, or in concrete piers w/ Simpson ABU-series base; SPACED 2' o/c for slab-on-grade construction (i.e. Garage, Basement, etc.).
 - b.) All walls to have min. 2#4 top horizontal, 2" clear, to prevent shrinkage
 - c.) All walls longer than 25' shall have vertical control joint with waterstopping between wall joint.

FRAMING

1. All workmanship to conform to the requirements of the Massachusetts State Building Code, latest edition.

2. Structural Design Loads:

Dead Loads: Actual Weight of Building Components

Live Loads: Snow Load = 30 psf (plus drift) with applicable reduction

ATTIC Storage = 20 psf

Living Floor = 40 psf

Sleeping Floor = 30 psf

Decks and Balconies = 40 psf

Wind Load : Criteria used for 110 MPH Exposure B or C as noted per plans

3. Structural Steel: (as required)

- a. ASTM A572 Grade 50; shop paint with rust inhibitive paint. Thru-Bolts: ASTM A307, 1/2" diameter; punched holes: 9/16" diameter.

- b. **Welds:** Shop weld cap and base plates to columns; shop weld bearing plates to beams; use E70xx electrodes.

Alternatively, field weld by certified welders.

- c. Deflection Criteria: $L/360$ total load deflection.

4. Timber Framing:

- a. All new timber framing: Spruce-Pine-Fir No. 2 with $F_b = 1000$ psi, $E = 1,300,000$ psi, or better.

- b. Pressure treated timber (P.T.): Southern Pine with $F_b = 1300$ psi, $E = 1,600,000$ psi, or better.

c. Laminated Veneer Lumber: All L.V.L. shall be 1.9E L.V.L. with $F_b = 2925$ psi, $E = 1,900$ ksi, $F_v = 285$ psi, $F_c_{per} = 750$ psi, $F_c_{par} = 3035$ psi. Parallam (PSL): All PSL shall be min. 1.9E ES with $F_b = 2900$ psi, $E = 1,900$ ksi, $F_v = 285$ psi, $F_c_{per} = 750$ psi, $F_c_{par} = 2900$ psi. Note that Microllam and Parallam may be used interchangeably.

1. Deflection Criteria: $L/480$ Live Load, $L/360$ Total Load

2. Optional: Provide shop drawing submittal of engineered lumber systems for approval prior to materials purchasing.

5. Metal Connectors:

As manufactured by Simpson Strong-Tie Co. shall be handled and installed per manufacturer requirements, with all nail holes filled, with the size nail as specified by mfr. or herein.

- a. Rafter to Ridge Beam: Simpson LSSU-series, or Simpson Straps over top of plywood, spaced 16" o/c;

Rafter to Ridge Plate: Collar ties min. 1x6@ 16" o/c at top or Simpson Straps over top of plywood spaced 16" o/c

- b. Rafter ends to top plate: Simpson H2.5A

- c. Band Joist: Simpson straps at 4' o/c: CS-14R-48" centered at band joist

6. Bolts:

Bolts in wood framing shall be standard machine bolts unless noted otherwise. Bolt holes in wood shall be 1/32" larger than bolt diameter. Bolt heads and nuts shall bear on standard malleable iron washers, or square plate washers. All nuts shall be retightened at completion of job.

7. Blocking:

- a. Blocking shall be solid blocking, 2x minimum, and full depth of member.

- b. Stud Walls: provide blocking at 8'-0" o/c, maximum height. Corners to be blocked at 48" o/c with plywood edge nailing to this blocking for the first 48" of these building corners.

- c. **Nailing Schedule:**

Solid Blocking to Bearing 2-8d toenails ea. side

Blocking Between Studs 2-10d toenails ea. end, or 2-16d end-nails ea. End

- d. **New Framing:** Provide 2x blocking for 2 joist/rafter bays and spaced 48" o/c in joist and rafter plane at all edges; attach plywood edges to this blocking

8. Nailing Schedule:

All nailing shall be in accordance with the WFCM Table 3.1 unless noted herein specifically.

Multiple Studs 16d @ 12" staggered

- a. All nails shall be common wire nails.

- b. Sub-bore where; nails tend to split wood.

9. Headers less than 4'-0", use 2-2x6; all others per MA State Building Code.



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us



APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date Nov. 16. 2020

NOTE: All applications must be signed by the current owner

Owner (print): ERIC AND JESSICA GREEN Telephone #: 617-331-9025 Parcel
 Address of Proposed Work: 1536 HYANNIS ROAD Village BARNSTABLE Map Lot # 298/021,001
 Mailing Address (if different) 6 LANTERN LANE, LEXINGTON, MA 02421-6005

Owner's Signature _____

Description of Proposed Work: Give particulars of work to be done: NEW RESIDENCE, 4 BED, 3 1/2 BATH 2,1696 SQFT, - HOME, FULL BASEMENT, NEW 16' X 30' INGROUND POOL WITH 52" TALL BLACK ALUMINUM FENCE.

Agent or Contractor (print): BRIAN BURBIC Telephone #: 508.325.2252
 Address: 137 MAUSHOP AVE, BARNSTABLE, MA Email: bburbic@custome.comcast.net
 Contractor/Agent's signature: [Signature]

For committee use only This Certificate is hereby **APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) CONCRETE

Siding Type: Clapboard ___ shingle other ___
Material: red cedar ___ white cedar other ___ Color: NATURAL

Chimney Material: NONE Color: _____

Roof Material: (make & style) ASPHALT ARCHITECTURAL Color: COBBLESTONE GRAY

Roof Pitch(s): (7/12 minimum) 10/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify _____

Size of cornerboards 5/4x6 size of casings (1 X 4 min.) _____ color WHITE

Rakes 1st member 1x6 2nd member 2 1/2" Depth of overhang _____

Window: (make/model) ANDERSEN material 400 SERIES color BLACK
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills grills between glass ___ removable interior ___ None ___

Door style and make: SIMPSON material FIR Color: BLACK

Garage Door, Style NONE Size of opening - Material - Color -

Shutter Type/Style/Material: NONE Color: -

Gutter Type/Material: ALUMINUM Color: WHITE

Deck material: wood other material, specify 1x4 MAHOAGANY Color: NATURAL

Skylight, type/make/model: NONE material _____ Color: _____ Size: _____

Sign size: NONE Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding NONE on building illuminating sign

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name BRIAN BURBIC

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.

Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:

- Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
- The location of existing and proposed buildings and structures, and lot lines.
- Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
- Existing buffer areas to remain.
- Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
- The location, number, size and name of proposed new trees and plants.
- Driveway, parking areas, walkways, and patios indicating materials to be used.
- Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
- All proposed exterior lighting and signs.

Sketch or photos of adjacent properties, (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

Photographs of all sides of existing buildings to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 _____ sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 1736 sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 2696 sq. ft. Building 2 _____

5. SIGNS


- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer)  Print BRIAN BURBIC

Date: Nov. 16, 2020 Tel. Phone no's: 508.325.2252
 Email bburbic.custom@comcast.net

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

| | | |
|----------------------|-----------------------|---------------------|
| APPEAL PERIOD | APPROVED PLANS | PLAN PICK UP |
|----------------------|-----------------------|---------------------|

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

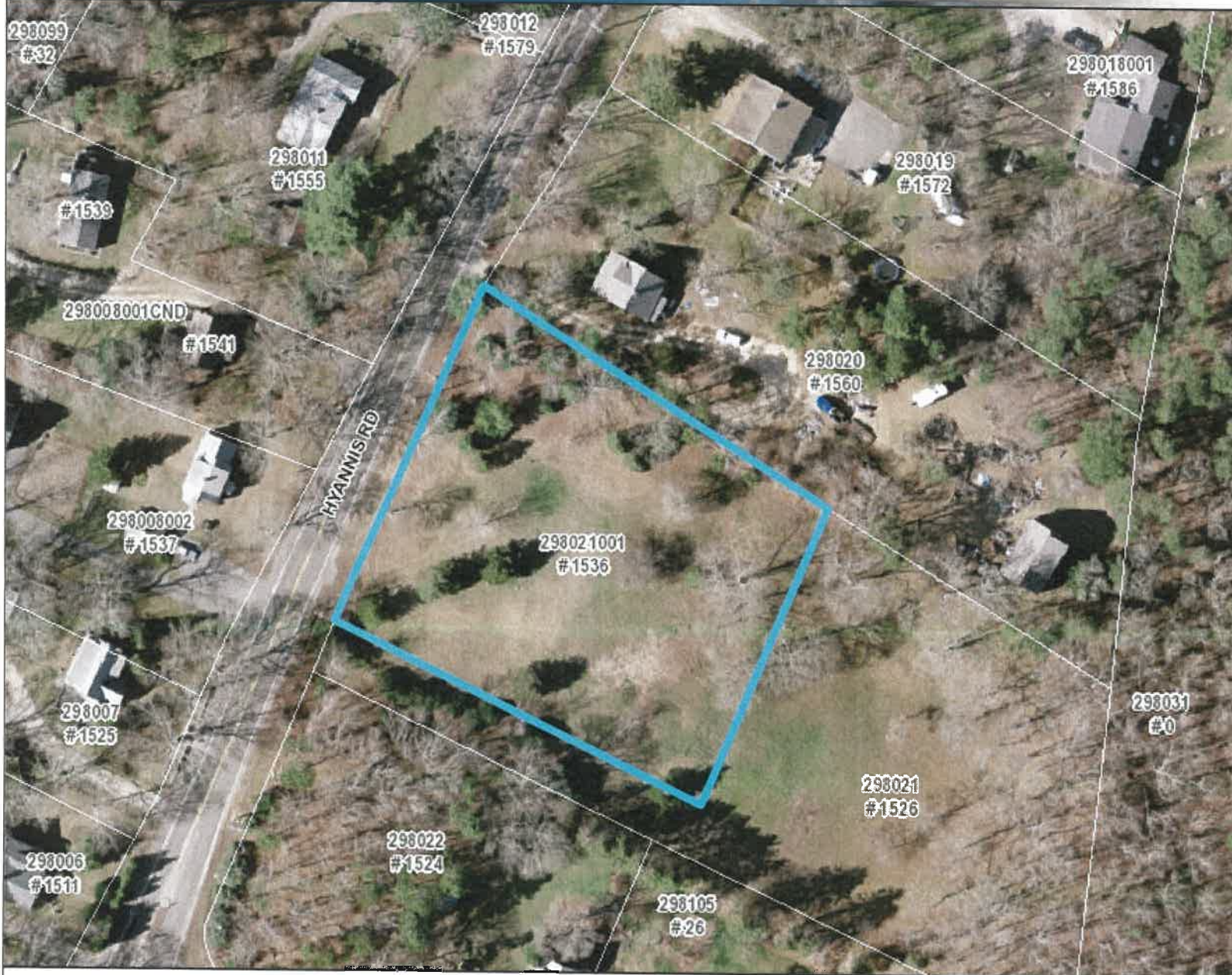
In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

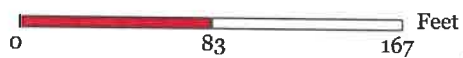
QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

Legend

Road Names



Map printed on: 11/25/2020



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601
508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 298021001

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

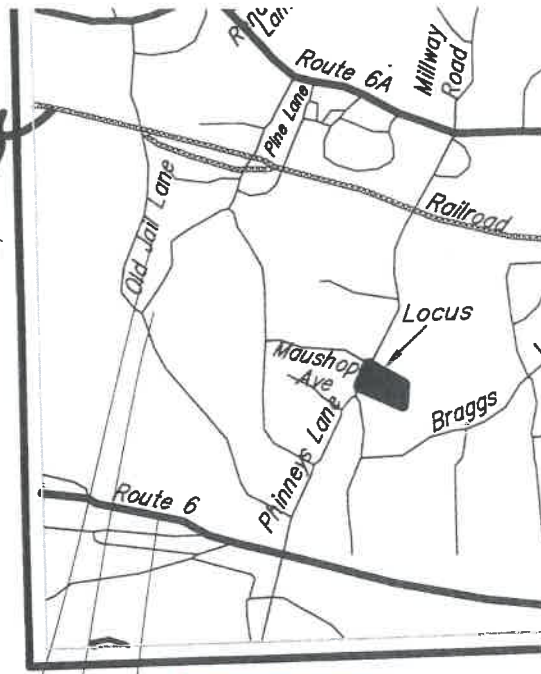
| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|-------------------------------|----------------------------------|--------------------|----------------|-------------|-------|------------|
| 298008002 | DUGAS, MARCY S TR | MARCY S DUGAS LIVING TRUST | 45 DORCAS DRIVE | | BARNSTABLE | MA | 02630 |
| 29800810A | DONEWALD, BLAIR E & KRISTEN E | | 9 LAURELWOOD DRIVE | | WALLINGFORD | CT | 06492 |
| 29800810B | MARTIN, MICHAEL & DEANNE | | 1 LEAF COURT | | AIRMONT | NY | 10901 |
| 298011 | VETORINO, MARGARET M TR | MARGARET M VETORINO REALTY TRUST | PO BOX 234 | | BARNSTABLE | MA | 02630-0234 |
| 298020 | THOMAS, RICHARD K | | 1560 HYANNIS RD | | BARNSTABLE | MA | 02630 |
| 298021 | C S R MANAGEMENT, INC | | P O BOX 271 | | BARNSTABLE | MA | 02630 |
| 298021001 | C S R MANAGEMENT, INC | | P O BOX 271 | | BARNSTABLE | MA | 02630 |



WINDOW AND DOOR SCHEDULE

| UNIT | QTY. | MODEL | ROUGH OPENING | CUT | |
|------|------|----------------------|-------------------------|-------|-------------------|
| A | 31 | IDH 3056 | 2'-6 1/2" x 4'-8 1/4" | 2/1 | |
| B | 2 | IDH 2656 | 2'-2 1/2" x 4'-8 1/4" | 2/1 | TEMP |
| C | 9 | IANT 2527 | 2'-1" x 2'-3 5/8" | 4LITE | 2WX2H VENTING |
| 1 | 1 | SIMPSON UNIT. | 5'-6" x 6'-11" | 2LITE | POOR W/ 2-SLS |
| 2 | 1 | SIMPSON DOOR | 3'-2 1/2" x 6'-11" | 4LITE | SINGLE / RH |
| 3 | 1 | SIMPSON DOOR | 3'-2 1/2" x 6'-11" | 4LITE | SINGLE / LH |
| 4 | 1 | CUSTOM 8'-0" x 8'-0" | T.B.V. | | SLIDING GARAGE |
| 5 | 1 | IIFD 6068 XXL | 6'-0" x 6'-10 1/2" | 8LITE | 2WX4H FRENCH DOOR |
| 6 | 1 | CUSEP 12068 XX | 12'-2 1/2" x 6'-10 1/2" | 8LITE | QUAD SLIDER |
| 7 | 1 | IIFD 6068 XO | 6'-0" x 6'-10 1/2" | 8LITE | SLIDER |
| 8 | 1 | IIFD 6068 XXL | 6'-0" x 6'-10 1/2" | 8LITE | FRENCH DOOR |

INTEGRITY WINDOWS & DOORS
MARVINI QUAD SLIDER



RECEIVED
LOCUS MAP
NOV 24 2020

SCALE 1"=2000'±
TOTAL AREA: 1.01 ACRES
ASSESSORS MAP 298 PARCEL: 021 / 06

LOCUS IS WITHIN FEMA FLOOD ZONE
SHOWN ON COMMUNITY PANEL #2
0005 C DATED 8/19/1985

ZONING SUMMARY

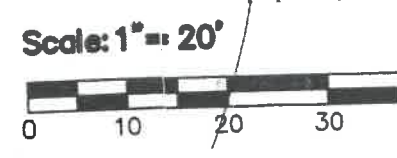
ZONING DISTRICT: RF-1 DISTRICT
REQUIREMENTS:

| | |
|--------------------|----------|
| MIN. LOT SIZE | 43,560 S |
| MIN. LOT FRONTAGE | 20' |
| MIN. FRONT SETBACK | 30' |
| MIN. SIDE SETBACK | 15' |
| MIN. REAR SETBACK | 15' |

SITE IS LOCATED WITHIN THE WE
PROTECTION DISTRICT

SITE IS LOCATED WITHIN THE BA
FIRE DISTRICT

SITE IS LOCATED WITHIN THE OL
HIGHWAY HISTORIC DISTRICT





FRONT ELEVATION $\frac{1}{4}'' = 1'-0''$

SCALE: $\frac{1}{4}'' = 1'-0''$
0 3' 6' 10' 14'

| | | | |
|---|--------------------------------|---|----------------------------------|
| PROPOSED NEW RESIDENCE FOR: ERIC AND JESSICA GREEN 1536 HYANNIS ROAD BARNSTABLE, MA. | Map: 298 Parcel: 021/001 | BRIAN BURBIC CUSTOM HOMES. CSL# 104145 / H.I.C. # 174645 | $\frac{1}{4}'' = 1'-0''$ R.Y. |
|---|--------------------------------|---|----------------------------------|

RECEIVED
 NOV 24 2020
 PLANNING & DEVELOPMENT

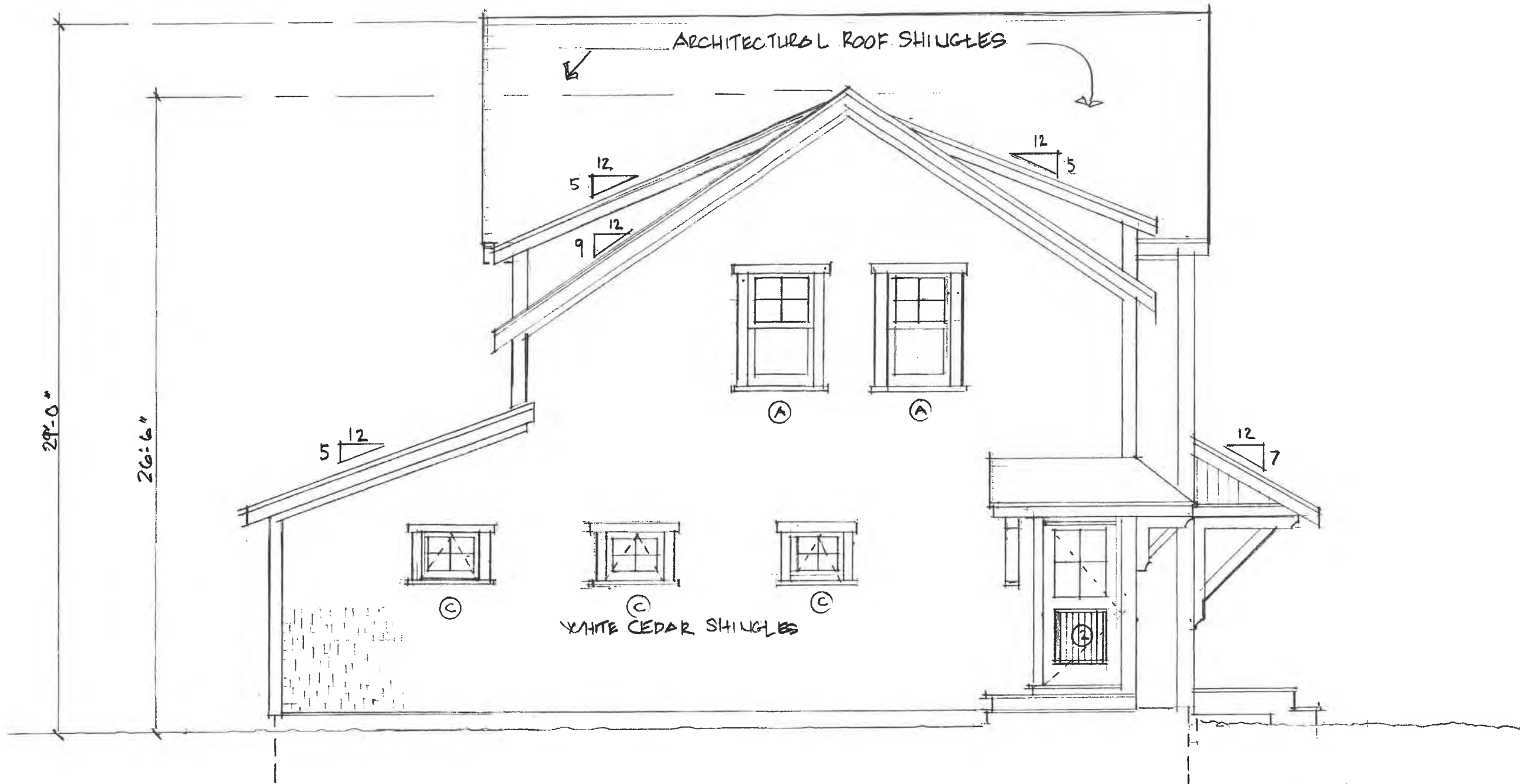


REAR ELEVATION

1/4" = 1'-0"

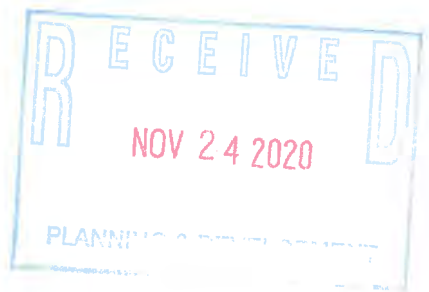
| | | | |
|---|-------------------------------|---|----------------------|
| PROPOSED NEW RESIDENCE FOR: ERIC AND JESSICA GREEN 1536 HYANNIS ROAD BARNSTABLE, MA. | MAP: 298 PARCEL 021/001 | BRIAN BURBK CUSTOM HOMIES CSL# 104145 HIC.# 174645 | R.Y. 1/4" = 1'-0" |
|---|-------------------------------|---|----------------------|

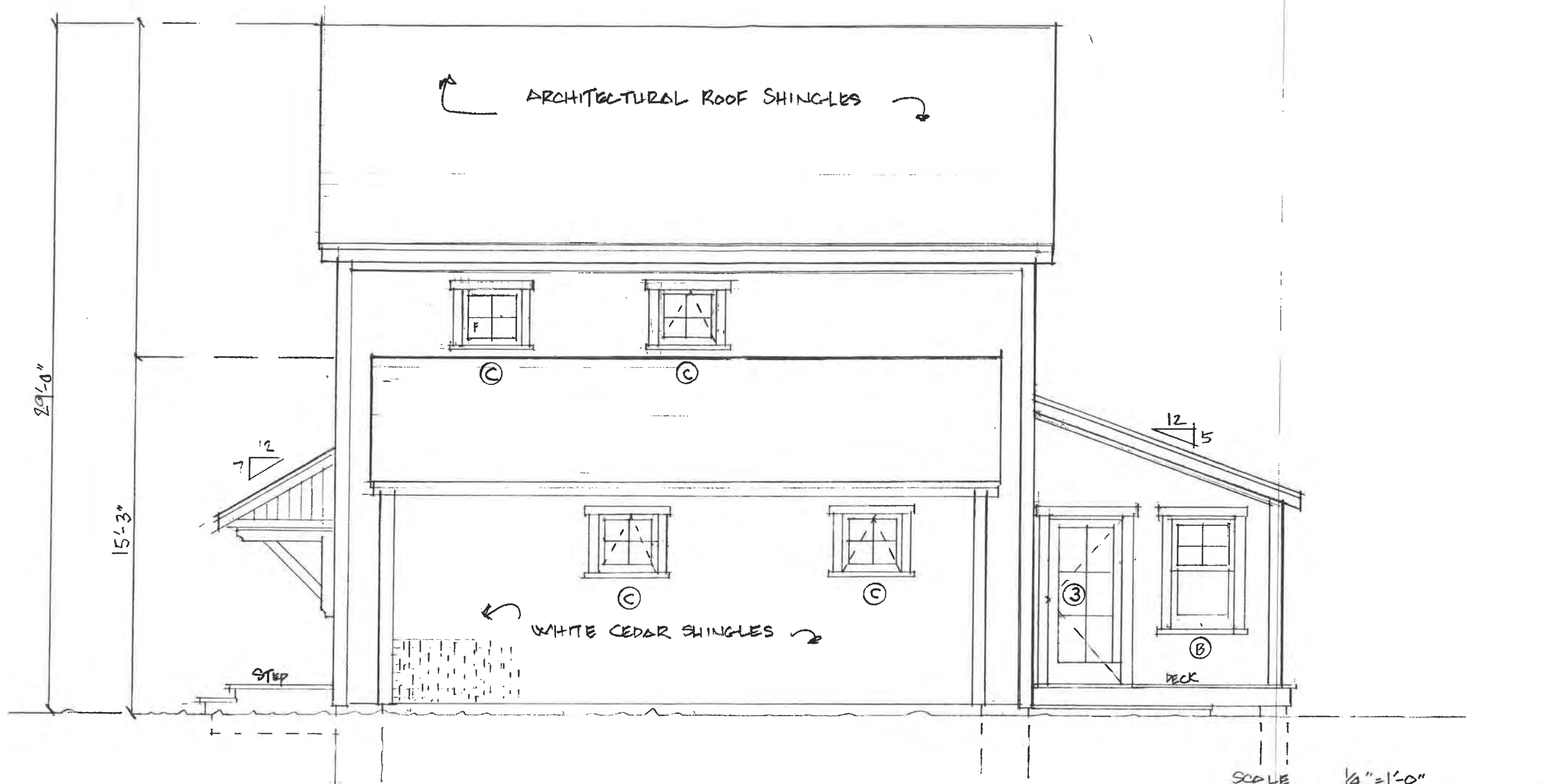
RECEIVED
 NOV 24 2020
 PLANNING & DEVELOPMENT



LEFT SIDE ELEVATION $\frac{1}{4}'' = 1'-0''$

| | | | |
|---|-------------------------------|---|--------------------------------|
| PROPOSED NEW RESIDENCE ERIC AND JESSICA GREEN 1536 HYANNIS ROAD BARNSTABLE, MA | Map / Parcel 290/021.-/001 | BRIAN BURBIC CUSTOM HOMIES C.S.L 109145 41C 174645 | RY $\frac{1}{4}'' = 1'-0''$ |
|---|-------------------------------|---|--------------------------------|





RIGHT SIDE ELEVATION $\frac{1}{4}'' = 1'-0''$

| | | | | |
|--|---------------|--------------------|---|---|
| PROPOSED NEW RESIDENCE FOR: ERIC AND JESSICA GREEN 1536 HYANNIS ROAD BARNSTABLE, MA | Map parcel | 298 021/ 001 | BRIAN BURBIC CUSTOM HOMES CSL # 104145 / HIC. 174645 | $\frac{1}{4}'' = 1'-0''$ R.Y. NOV. 2020 |
|--|---------------|--------------------|---|---|



HOWER



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

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- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign : New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 11/23/2020

NOTE: All applications must be signed by the current owner

Owner (print): ROBERT & KIRA HOWER Telephone #: 017.577.9525
 Address of Proposed Work: 29 SALTEN POINT Village BARNSTABLE Map Lot # 280 009
 Mailing Address (if different) 47 LAKE VIEW, CAMBRIDGE MA 02138
 Owner's Signature _____

Description of Proposed Work: Give particulars of work to be done:
NEW WINDOWS & DOORS, NEW SIDING (MATCH EXISTING)
NEW SOLAR PANELS ON SOUTH FACING ROOF.

Agent or Contractor (print): ALISON ALESSI, A3 ARCHITECTS Telephone #: 508.694.7007
 Address: 831 MAIN DENNIS MA 02638 Email: alison@a3architectsinc.com
 Contractor/Agent' signature: [Signature]

| | |
|---|--|
| <p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p> | <p>This Certificate is hereby APPROVED / DENIED</p> |
|---|--|

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle other _____
Material: red cedar ___ white cedar ___ other _____ Color: MATCH EXTRA

Chimney Material: N/A Color: N/A

Roof Material: (make & style) MATCH EXTRA Color: _____

Roof Pitch(s): (7/12 minimum) N/A (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify MATCH EXTRA

Size of cornerboards MATCH EXTRA size of casings (1 X 4 min.) MATCH EXTRA color MATCH EXTRA

Rakes 1st member MATCH EXTRA 2nd member MATCH EXTRA Depth of overhang MATCH EXTRA

Window: (make/model) ANDERSEN 400 material _____ color MATCH EXTRA
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills grills between glass ___ removable interior ___ None ___

Door style and make: THERMATKO SOLID material FIBERGLASS Color: WHITE

Garage Door, Style N/A 2-PANEL Size of opening N/A Material N/A Color N/A

Shutter Type/Style/Material: N/A Color: N/A

Gutter Type/Material: MATCH EXTRA Color: MATCH EXTRA

Deck material: wood N/A other material, specify N/A Color: N/A

Skylight, type/make/model: N/A material N/A Color: N/A Size: N/A

Sign size: N/A Type/Materials: _____ Color: _____

Fence Type (max 6') Style N/A material: _____ Color: _____

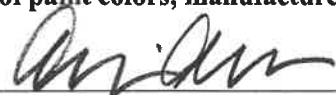
Retaining wall: Material: N/A

Lighting, freestanding N/A on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer)  Print Name AUSON ALESSI

5. SIGNS

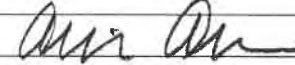
- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84 check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer)  Print AUSON ALESSI

Date: 11/23/2020 Tel. Phone no's: 508.694.7887
 Email alison@a3architectsinc.com

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

| | | |
|----------------------|-----------------------|---------------------|
| APPEAL PERIOD | APPROVED PLANS | PLAN PICK UP |
|----------------------|-----------------------|---------------------|

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

| |
|----------------|
| DENIALS |
|----------------|

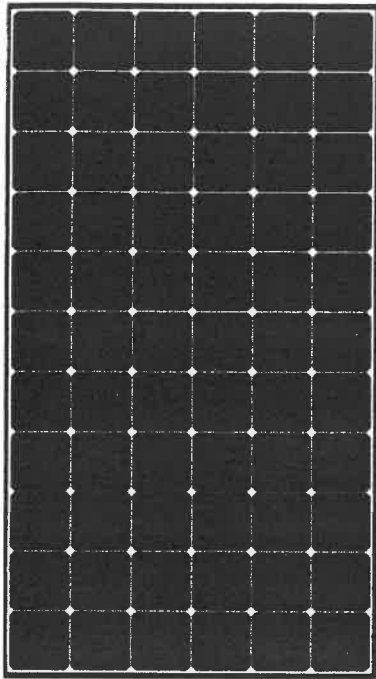
Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

| |
|--|
| BUILDING PERMITS, OTHER AGENCY CONTACTS |
|--|

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

| |
|--|
| QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787 |
|--|



400–420 W Residential A-Series Panels

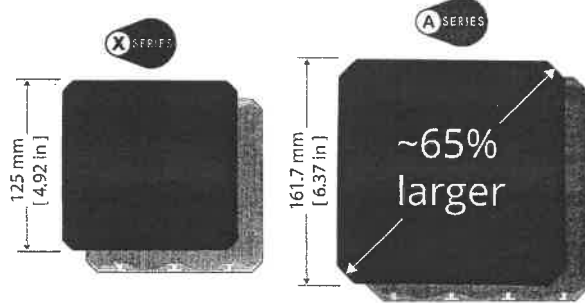
SunPower® Maxeon® Technology

SunPower® Maxeon® cell-based panels maximize energy production and savings by combining industry-leading power, efficiency, and durability with the best power, product, and service warranty in the industry.^{1,2}



Highest Power Density Available

SunPower's new Maxeon® Gen 5 cell is 65% larger than prior generations, delivering the most powerful cell and highest efficiency panel in commercial solar. The result is more power per square meter than any commercially available solar.¹



SUNPOWER MAXEON SOLAR CELL TECHNOLOGY



Fundamentally Different. And Better.

- Most efficient cell in commercial solar²
- Delivers unmatched reliability³
- Patented solid metal foundation prevents breakage and corrosion

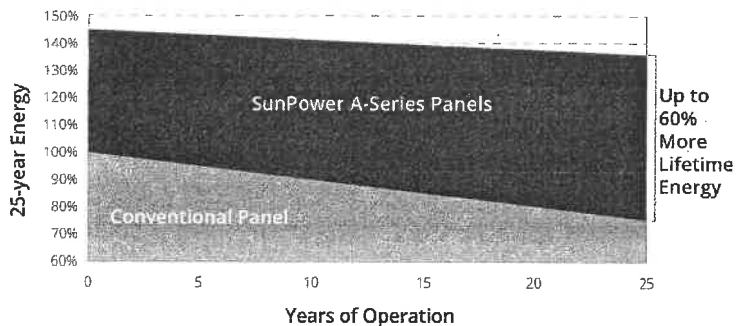
As sustainable as the energy it produces.

- Achieved the #1 ranking on the Silicon Valley Toxics Coalition's Solar Scorecard for 3 years running
- SunPower modules can contribute to your business's LEED certification⁴



Maximum Lifetime Energy and Savings

Designed to deliver up to 60% more energy from the same space over the first 25 years in real-world conditions like partial shade and high temperatures.¹



Best Reliability, Best Warranty

SunPower technology is proven to last and we stand behind our panels with the industry's best 25-year Combined Power, Product and Service Warranty.

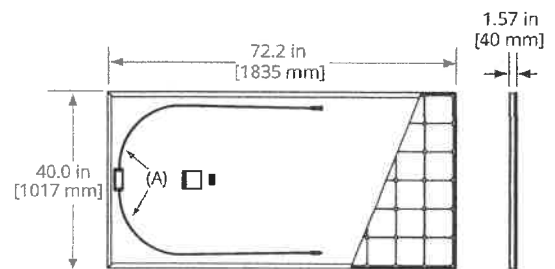


400–420 W Residential A-Series Panels

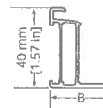
| Electrical Data | | | |
|--|--------------|----------|----------|
| | SPR-A420 | SPR-A410 | SPR-A400 |
| Nominal Power (P _{nom}) ⁵ | 420 W | 410 W * | 400 W |
| Power Tolerance | +5/0% | +5/0% | +5/0% |
| Panel Efficiency | 22.5% | 22.0% | 21.5% |
| Rated Voltage (V _{mpp}) | 40.5 V | 40.0 V | 39.5 V |
| Rated Current (I _{mpp}) | 10.4 A | 10.2 A | 10.1 A |
| Open-Circuit Voltage (V _{oc}) | 48.2 V | 48.2 V | 48.1 V |
| Short-Circuit Current (I _{sc}) | 10.9 A | 10.9 A | 10.9 A |
| Max. System Voltage | 1000 V UL | | |
| Maximum Series Fuse | 20 A | | |
| Power Temp Coef. | -0.29% / °C | | |
| Voltage Temp Coef. | -136 mV / °C | | |
| Current Temp Coef. | 4.1 mA / °C | | |

| Operating Condition And Mechanical Data | |
|---|--|
| Temperature | -40° F to +185° F (-40° C to +85° C) |
| Impact Resistance | 1 inch (25 mm) diameter hail at 52 mph (23 m/s) |
| Appearance | Class A+ |
| Solar Cells | 66 Monocrystalline Moxeon Gen 5 |
| Tempered Glass | High-transmission tempered anti-reflective |
| Junction Box | IP-68, MC4 Compatible |
| Weight | 37 lbs (16.8 kg) |
| Max. Load | Wind: 75 psf, 3600 Pa, 367 kg/m ² front & back Snow: 125 psf, 6000 Pa, 612 kg/m ² front |
| Frame | Class 1 black anodized (highest AAMA rating) |

| Tests And Certifications - Pending | |
|------------------------------------|---|
| Standard Tests | UL1703 |
| Quality Management Certs | ISO 9001:2015, ISO 14001:2015 |
| EHS Compliance | RoHS, OHSAS 18001:2007, lead free, Recycle Scheme, REACH SVHC-163 |
| Ammonia Test | IEC 62716 |
| Desert Test | 10.1109/PVSC.2013.6744437 |
| Salt Spray Test | IEC 61701 (maximum severity) |
| PID Test | 1000 V: IEC 62804 |
| Available Listings | UL |



FRAME PROFILE



- (A) Cable Length: 52 in +/-0.4 in [1320 mm +/-10 mm]
 (B) Long Side: 1.3 in [32 mm]
 Short Side: 0.9 in [24 mm]

Please read the safety and installation guide.

1 SunPower 420 W, 22.5% efficient, compared to a Conventional Panel on same-sized arrays (260 W, 16% efficient, approx. 1.6 m²), 8% more energy per watt (based on PVsyst pan files for avg US climate), 0.5%/yr slower degradation rate (Jordan, et. al. "Robust PV Degradation Methodology and Application." PVSC 2018).

2 Based on search of datasheet values from websites of top 20 manufacturers per IHS, as of January 2019.

3 #1 rank in "Fraunhofer PV Durability Initiative for Solar Modules: Part 3", PVTech Power Magazine, 2015. Campeau, Z, et al. "SunPower Module Degradation Rate," SunPower white paper, 2013.

4 Moxeon panels additionally contribute to LEED Materials and Resources credit categories.

5 Standard Test Conditions (1000 W/m² irradiance, AM 1.5, 25° C). NREL calibration Standard: SOMS current, LACCS FF and Voltage.

See www.sunpower.com/company for more reference information.
 For more details, see extended datasheet: www.sunpower.com/solar-resources.
 Specifications included in this datasheet are subject to change without notice.

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SUNPOWER®

1-800-SUNPOWER

533065 Rev A / LTR_US

sunpower.com

ABL

REGISTERED LAND SURVEYORS

P.O. Box 70702

Quinsigamond Village Station

WORCESTER, MA 01607

508-752-8050 (PHONE)

508-752-8004 (FAX)

A Division of H. S. & T. Group, Inc.

REGISTRY BARNSTABLE

MORTGAGE INSPECTION PLAN

NAME ROBERT HOWER, TRUSTEE OF THE SALTEN INVESTMENT TRUST

LENDER

LOCATION 29 SALTEN POINT ROAD

BARNSTABLE, MA

SCALE 1" = 40'

DATE 08-07-20

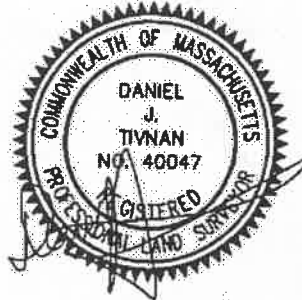
DEED BOOK/PAGE 26795/92

PLAN BOOK/PLAN 90/79

WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE FEMA MAP:

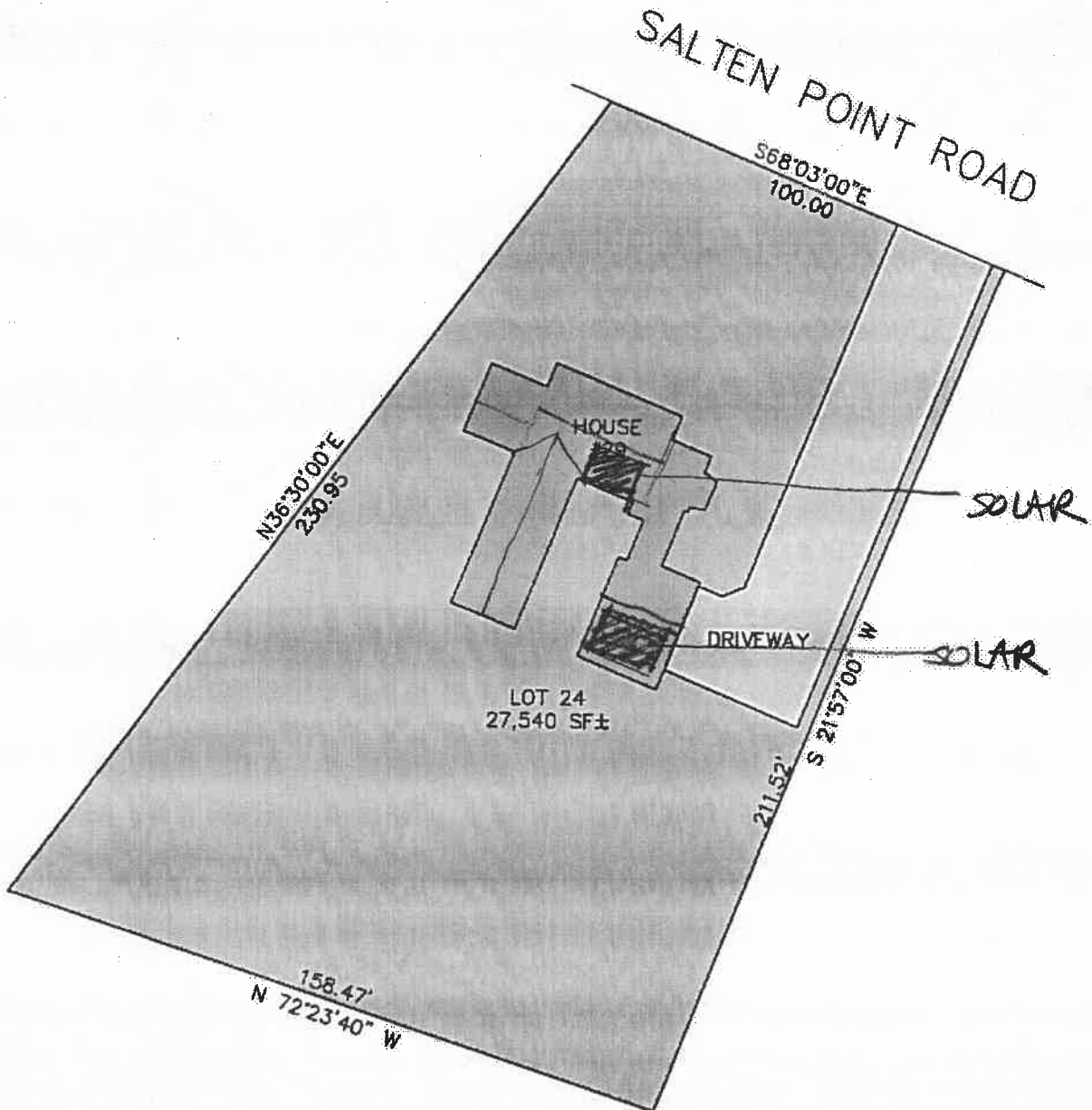
558J dtd 07-16-14

FLOOD HAZARD ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. UNTIL DEFINITIVE PLANS ARE ISSUED BY FEMA AND/OR A VERTICAL CONTROL SURVEY IS PERFORMED, PRECISE ELEVATIONS CANNOT BE DETERMINED.



BASED UPON DOCUMENTATION PROVIDED, REQUIRED MEASUREMENTS WERE MADE OF THE FRONTAGE AND BUILDING(S) SHOWN ON THIS MORTGAGE INSPECTION PLAN. IN OUR JUDGEMENT ALL VISIBLE EASEMENTS ARE SHOWN AND THERE ARE NO VIOLATIONS OF ZONING REQUIREMENTS REGARDING STRUCTURES TO PROPERTY LINES (UNLESS OTHERWISE NOTED IN DRAWING BELOW).

NOTE: NOT DEFINED ARE ABOVEGROUND POOLS, DRIVEWAYS, OR SHEDS WITH NO FOUNDATIONS. THIS IS A MORTGAGE INSPECTION PLAN, NOT AN INSTRUMENT SURVEY. DO NOT USE TO ERECT FENCES, OTHER BOUNDARY STRUCTURES, OR TO PLANT SHRUBS. LOCATION OF THE STRUCTURE(S) SHOWN HEREON IS EITHER IN COMPLIANCE WITH LOCAL ZONING FOR PROPERTY LINE OFFSET REQUIREMENTS, OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. G.L. TITLE VII, CHAP. 40A, SEC. 7, UNLESS OTHERWISE NOTED. THIS CERTIFICATION IS NON-TRANSFERABLE. THE ABOVE CERTIFICATIONS ARE MADE WITH THE PROVISION THAT THE INFORMATION PROVIDED IS ACCURATE AND THAT THE MEASUREMENTS USED ARE ACCURATELY LOCATED IN RELATION TO THE PROPERTY LINES.



ABL # 08-048-20



REQUESTING OFFICE: PIZZUTI & MAZZEO LLC
REQUESTED BY:

DRAWN BY: JLO
CHECKED BY:



FRONT ELEVATION (EAST BAY VIEW ROAD)



VIEW OF BACK ELEVATION - LOCATION OF PROPOSED SOLAR PANELS

A3 architects, inc
residential commercial net-zero

831 Main Street
Dennis MA 02638
p: 508.896.0051
www.a3architectsinc.com



VIEW OF EAST ELEVATION (RIGHT FROM FRONT)



VIEW OF WEST ELEVATION (LEFT FROM FRONT)

A3 architects, inc
residential commercial net-zero

831 Main Street
Dennis MA, 02638
p: 508.896.0051
www.a3architectsinc.com



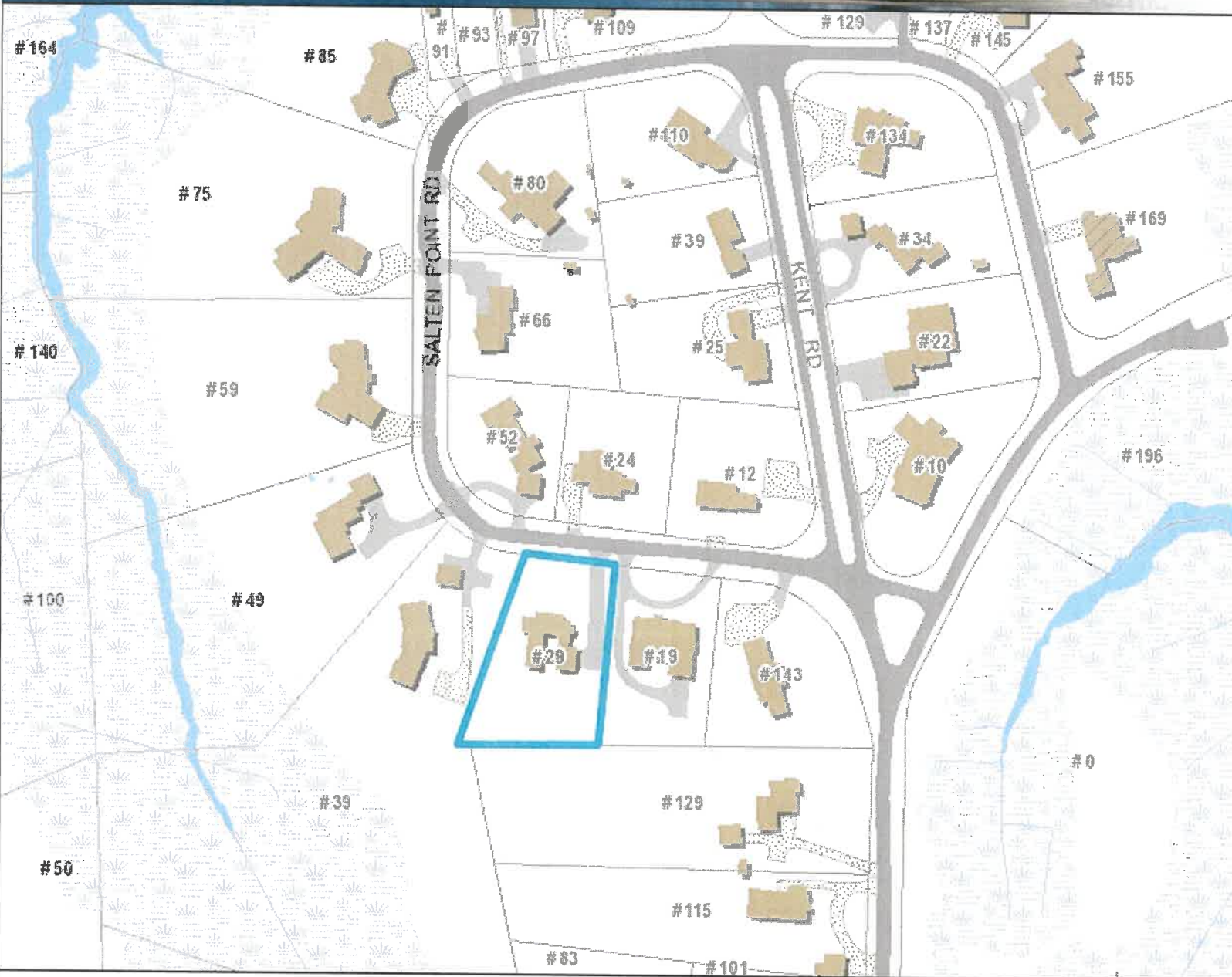
LEFT SIDE OF GARAGE - LOCATION OF PROPOSED SOLAR PANELS



EAST SIDE ENTRY

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residential commercial net-zero

831 Main Street
Dennis MA 02638
p: 508.896.0051
www.a3architectsinc.com



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 11/25/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



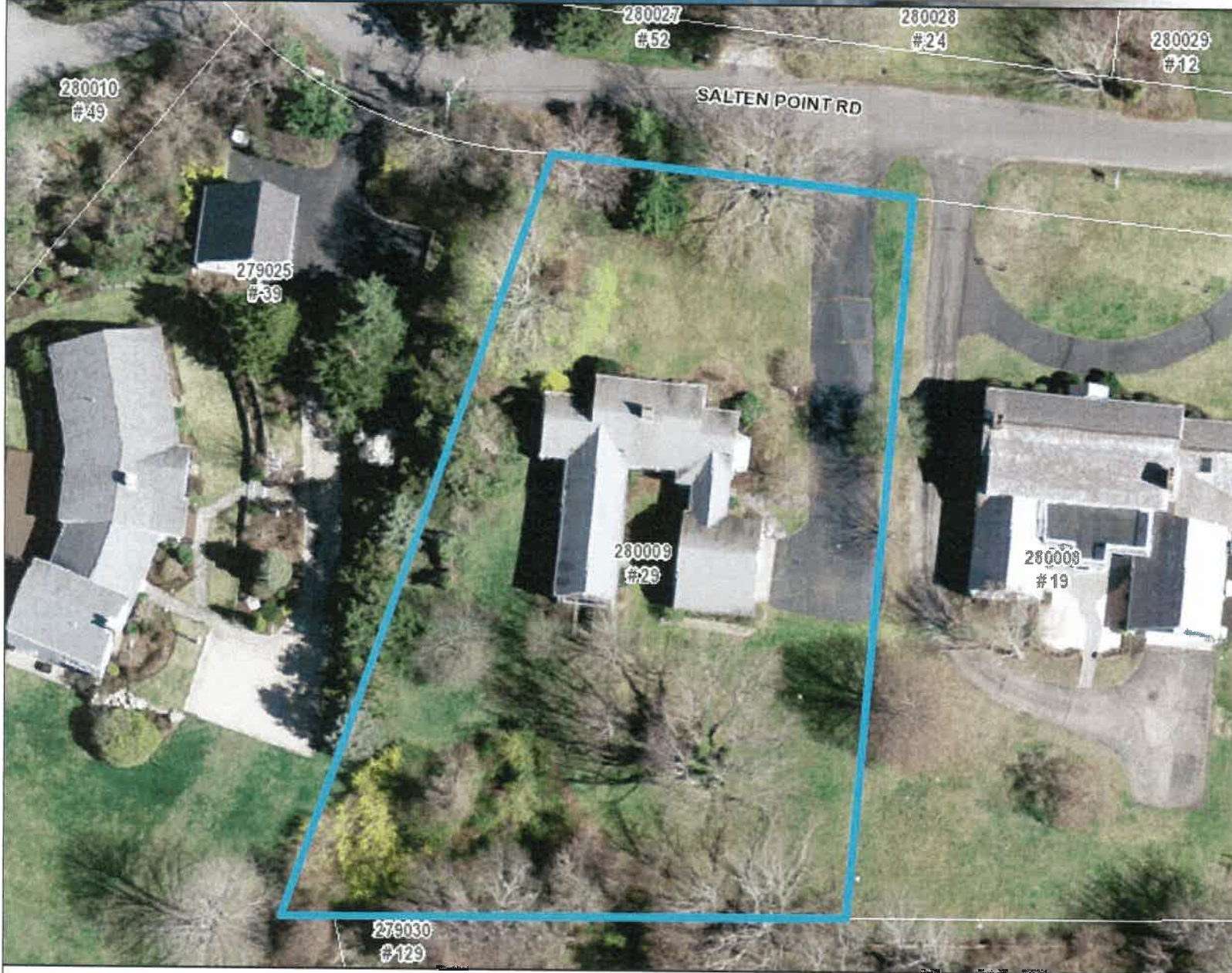
Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601
508-862-4624
gis@town.barnstable.ma.us

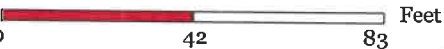


Legend

Road Names



Map printed on: 11/25/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

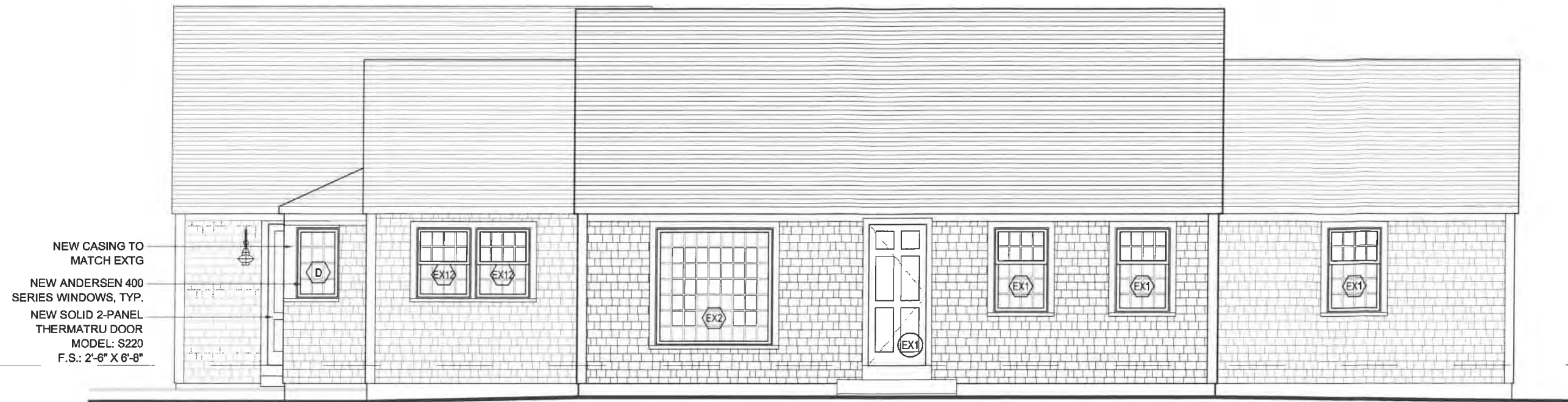
367 Main Street, Hyannis, MA 02601
508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 280009

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|---------------------------------|--------------------------------------|---------------------------|----------------|--------------------|-------|-------|
| 279025 | HETZER, KNUT & JACQUELINE A TRS | | PO BOX 644 | | BARNSTABLE | MA | 02630 |
| 279030 | REVERE, AVERY | | PO BOX 321 | | BARNSTABLE | MA | 02630 |
| 280008 | LEEMAN, DAVID E & RAMONA L | | 41 ARLO ROAD | | NEWTON UPPER FALLS | MA | 02464 |
| 280009 | LUKINGBEAL, VIRGINIA TR | %LUKINGBEAL, ANNE & ROTH, NELSON TRS | 75 GREENWELLS GLORY DRIVE | | BILTMORE LAKE | NC | 28715 |
| 280027 | BOLOGNA, VINCENT & LAURA | | 14 UTICA STREET | | LEXINGTON | MA | 02420 |
| 280028 | PETERSON, JOHN I & MARYANNE | | 4 CHATHAM TRACE | | WILBRAHAM | MA | 01095 |



1 NORTH ELEVATION – SALTEN POINT ROAD
A2.0 3/16"=1'-0"



2 EAST ELEVATION (RIGHT SIDE)
A2.0 3/16"=1'-0"

3 WINDOW SCHEDULE
A2.0 N.T.S.

| KEY | QTY | FRAME SIZE | ROUGH OPENING | MODEL | MANUFACTURER | STYLE | MUNT. | REMARKS |
|-------|-----|--------------------------|------------------------|----------|--------------|---------|----------|---------|
| A | 7 | 4'-8 1/2" X 5'-4 13/16" | 4'-9" X 5'-5 5/16" | CW255 | ANDERSEN 400 | CASE | 8 LITES | TWIN |
| B | 1 | 2'-4 3/8" X 2'-4 3/8" | 2'-4 7/8" X 2'-4 7/8" | AW251 | ANDERSEN 400 | AWN | 4 LITES | |
| C | 2 | 2'-7 5/8" X 5'-0 7/8" | 2'-8 1/8" X 5'-0 7/8" | TW26140C | ANDERSEN 400 | COTTAGE | 6-9 | |
| D | 2 | 1'-8 1/2" X 2'-11 15/16" | 1'-9" X 3'-0 7/16" | CN13 | ANDERSEN 400 | CASE | 8 LITES | |
| E | 2 | 1'-5" X 2'-11 15/16" | 1'-5 1/2" X 3'-0 7/16" | CR13 | ANDERSEN 400 | CASE | 8 LITES | |
| F | 1 | 2'-4 3/8" X 2'-11 15/16" | 2'-4 7/8" X 3'-0 7/16" | CW13 | ANDERSEN 400 | CASE | 16 LITES | FIXED |
| TOTAL | 15 | | | | | | | |

NOTES:
 1. ALL WINDOWS SHALL BE ANDERSEN 400, WHITE WITH SDLs (MATCH EXISTING)
 2. VERIFY ALL TEMPERING IN THE FIELD
 3. EGRESS WINDOWS SHALL BE PROVIDED IN ALL BEDROOMS
 4. WINDOW REP TO VERIFY EXISTING R.O. PRIOR TO ORDER

A RENOVATION FOR:
 29 SALTEN POINT ROAD
 BARNSTABLE MA

TITLE:
 ELEVATIONS

831 Main Street
 Dennis, MA 02638
 508.694.7887 phone
 www.a3architectsinc.com

A3 architects, inc
 Residential Commercial Net Zero

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Date: 12.16.2020
 OKH:

NOV 24 2020

A2.0



- SOLAR PANELS
- NEW ANDERSEN 400 SERIES WINDOWS, TYP.
- EXTG ROOFING/SIDING?
- NEW ANDERSEN 400 SERIES WINDOWS IN EXTG R.O., BUT 12" DEEPER
- NEW 1X4 CASING W/ 2" SILL, TYP.
- EXTG WINDOWS TO BE REPLACED WITH W/ OPERABLE AWNINGS IN EXTG R.O.
- EXISTING WALKOUT BASEMENT

1 SOUTH ELEVATION (BACK)
A2.1 3/16"=1'-0"



- NEW ANDERSEN 400 SERIES WINDOWS, TYP.
- 1X4 CASING W/ 2" SILL, TYP.

2 WEST ELEVATION (LEFT SIDE)
A2.1 3/16"=1'-0"

A RENOVATION FOR:
29 SALTEN POINT ROAD
BARNSTABLE MA

TITLE:
ELEVATIONS

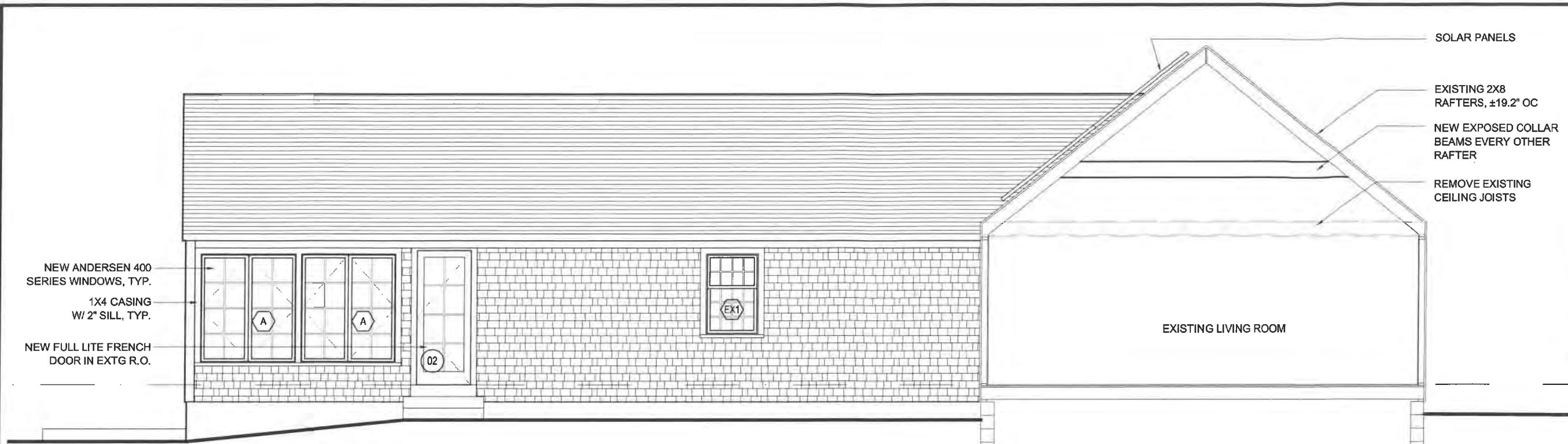
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Date:
OKH: 12.16.2020

A2.1



1 WEST ELEVATION (COURTYARD)
A2.2 3/16"=1'-0"



2 EAST ELEVATION (COURTYARD)
A2.2 3/16"=1'-0"

A RENOVATION FOR:
29 SALTEN POINT ROAD
BARNSTABLE MA

TITLE:
ELEVATIONS

831 Main Street
Dennis, MA 02638
508.694.7887 phone
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Residential Commercial Net Zero

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Date:
OKH: 12.16.2020

A2.2

SILBER/LEARY



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 11/23/2020

NOTE: All applications must be signed by the current owner

Owner (print): KRISTIN LEARY, JEFFREY SILBER Telephone #: 617-842-9933
 Address of Proposed Work: 3485 MAIN ST (ROUTE 6A) Village BARNSTABLE Map Lot # 317 004 002
 Mailing Address (if different) _____

Owner's Signature _____

Description of Proposed Work: Give particulars of work to be done: _____

NEW SCREENED PORCH AND POOL CABANA
NEW POOL IN SIMILAR LOCATION W/NEW PATIO
NEW FENCE AND RETAINING WALL

Agent or Contractor (print): ALISON ALESSI, ARCHITECTS Telephone #: 508 644 7827
 Address: 831 MAIN, DENNIS MA 02638 Email: alison@ca3architectsinc.com

Contractor/Agent' signature: [Signature]

| | |
|--|--|
| <p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p> | <p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> |
|--|--|

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) N/A

Siding Type: Clapboard ___ shingle other ___
Material: red cedar ___ white cedar ___ other MATCH EXTRA Color: MATCH EXTRA

Chimney Material: N/A Color: N/A

Roof Material: (make & style) MATCH EXTRA Color: MATCH EXTRA

Roof Pitch(s): (7/12 minimum) SEE ELEVATIONS (specify on plans for new buildings, major additions)

Window and door trim material: wood MATCH EXTRA other material, specify MATCH EXTRA

Size of cornerboards MATCH EXTRA size of casings (1 X 4 min.) MATCH EXTRA color MATCH EXTRA

Rakes 1st member MATCH EXTRA 2nd member MATCH EXTRA Depth of overhang MATCH EXTRA

Window: (make/model) ANDERSEN 400 material VINYL color MATCH EXTRA
(Provide window schedule on plan for new buildings, major additions) SEE ELEVATIONS

Window grills (please check all that apply):
true divided lights ___ exterior glued grills grills between glass ___ removable interior ___ None ___

Door style and make: ANDERSEN 400 material VINYL Color: MATCH EXTRA
SEE ELEVATIONS

Garage Door, Style N/A Size of opening N/A Material N/A Color N/A

Shutter Type/Style/Material: N/A Color: N/A

Gutter Type/Material: MATCH EXTRA Color: MATCH EXTRA

Deck material: wood ___ other material, specify TRAVARTINE Color: GRAY

Skylight, type/make/model: N/A material ___ Color: ___ Size: ___

Sign size: N/A Type/Materials: ___ Color: ___

Fence Type (max 6') Style WOOD w/SCREEN material: WOOD Color: WHITE
SEE IMAGES

Retaining wall: Material: STONE SEE IMAGES

Lighting, freestanding N/A on building ___ illuminating sign ___

OTHER INFORMATION: POOL REPLACED IN SIMILAR LOCATION

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) AMM AM Print Name AUBON ALESSI

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties**, (1 copy only)
A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 _____ sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

New building or addition, foot print: *sketch*

Building 1 *264 SF* sq. ft. Building 2 *Calhoun 240 SF*

New Building or addition, gross floor area, including area of finished basement:

Building 1 *1* sq. ft. Building 2 *-*

5. SIGNS

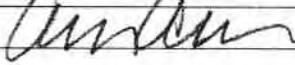
- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer)  Print ALISON ALESSI

Date: 11/22/2020 Tel. Phone no's: 508 694 7887
 Email alison@azarchitectsinc.com

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

| APPEAL PERIOD | APPROVED PLANS | PLAN PICK UP |
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| DENIALS |
|---------|
|---------|

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| BUILDING PERMITS, OTHER AGENCY CONTACTS |
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In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

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| |
|--|
| QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787 |
|--|



FRONT ELEVATION (ROUTE 6A)



NORTHWEST CORNER

A3 architects, inc
residential commercial net-zero

831 Main Street
Dennis MA 02638
p: 508.896.0051
www.a3architectsinc.com



VIEW OF WEST ELEVATION (RIGHT FROM FRONT)



SOUTHWEST CORNER

A3 architects, inc
residential commercial net-zero

831 Main Street
Dennis MA 02638
p: 508.896.0051
www.a3architectsinc.com



VIEW OF HOUSE FROM ROUTE 6A



VIEW OF EXISTING FENCE FROM ROUTE 6A

A3 architects, inc
residential commercial net-zero

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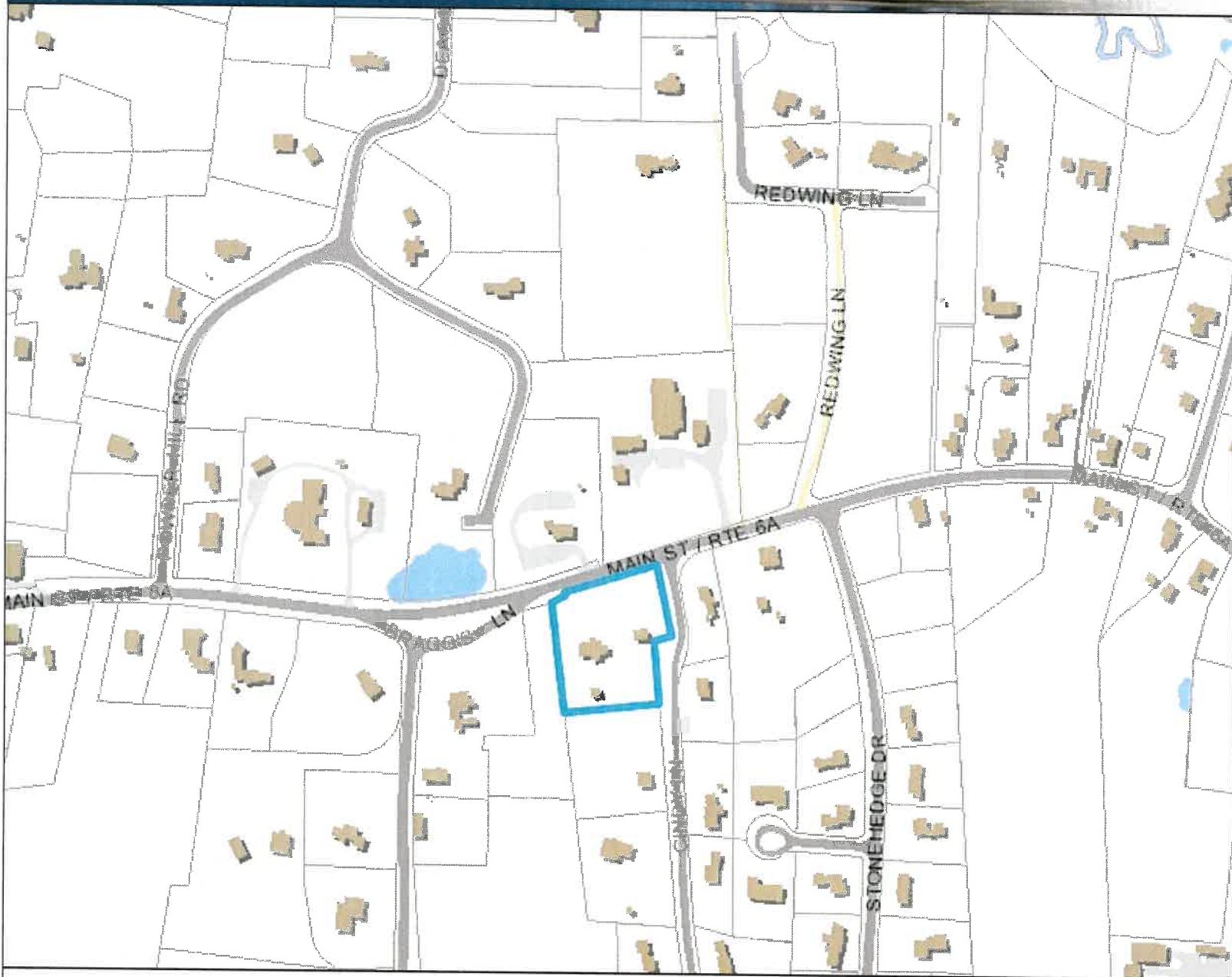
INSPIRATION IMAGE - REAR RETAINING WALL, AS REQUIRED



INSPIRATION IMAGES - PROPOSED FENCE

A3 architects, inc
residential commercial net-zero

831 Main Street
Dennis MA 02638
p: 508.896.0051
www.a3architectsinc.com




- Legend**
- Parcels
 - Town Boundary
 - + Railroad Tracks
 - Buildings**
 - Approx. Building
 - Buildings
 - Parking Lots**
 - Paved
 - Unpaved
 - Roads**
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
 - Water Bodies

Map printed on: 11/25/2020

0 333 667 Feet

Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

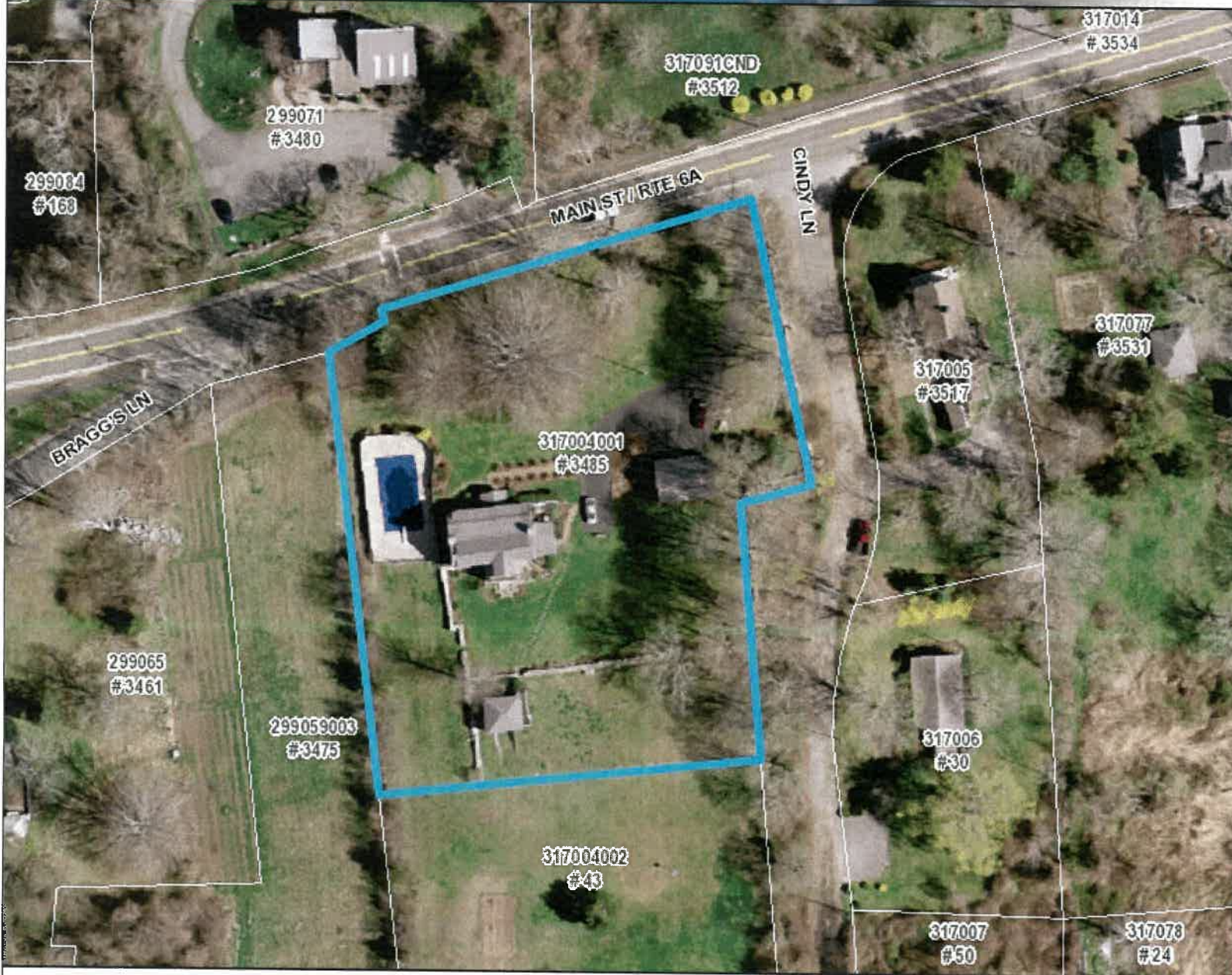


Town of Barnstable GIS Unit
 367 Main Street, Hyannis, MA 02601
 508-862-4624
 gis@town.barnstable.ma.us

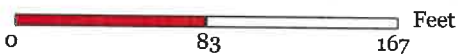


Legend

Road Names



Map printed on: 11/25/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

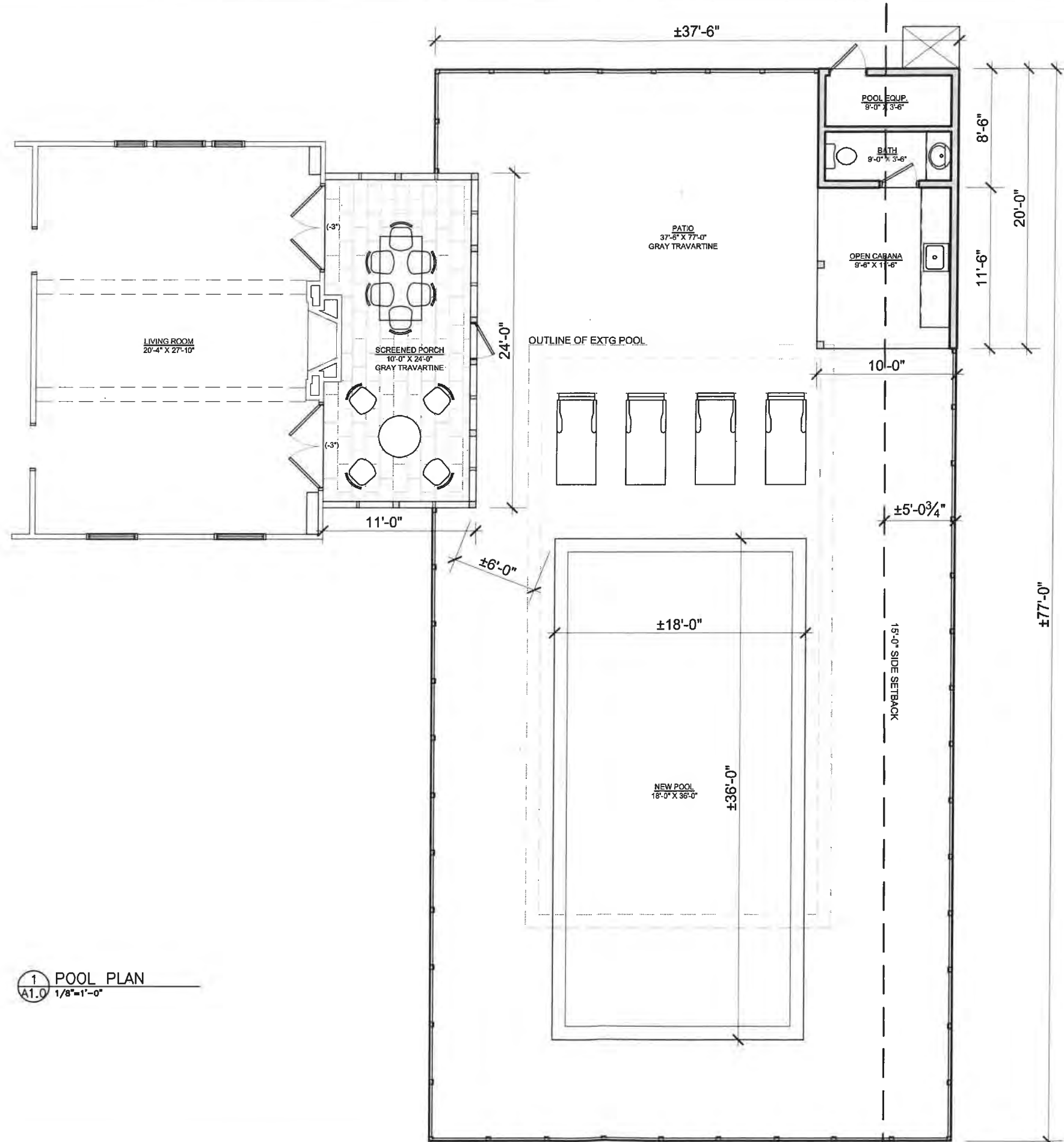
gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 317004001

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|---|-----------------------------|-------------------------|----------------|------------|-------|-------|
| 299059003 | BARNSTABLE, TOWN OF (CON) | CONSERVATION COMMISSION | 200 MAIN STREET | | HYANNIS | MA | 02601 |
| 299071 | CAPE COD ART ASSOCIATION | G.B. REED | PO BOX 85 | | BARNSTABLE | MA | 02630 |
| 317004001 | LEARY, KRISTIN & SILBER, JEFFREY | | PO BOX 339 | | BARNSTABLE | MA | 02630 |
| 317004002 | SILBER, JEFFREY L & LEARY, KRISTIN A | | PO BOX 339 | | BARNSTABLE | MA | 02630 |
| 317005 | MAREB, EDWARD & DEBORAH | | 3517 MAIN STREET | | BARNSTABLE | MA | 02630 |
| 317006 | MARINI, ROBERT C & VICKEY L TRS | MARINI REALTY TRUST | 42 WELCOME LANE | | WRENTHAM | MA | 02093 |
| 31709100A | NORTON, MARY C TR | MARY C NORTON TRUST | 250 EAST 87TH ST., #12D | | NEW YORK | NY | 10128 |
| 31709100B | JOHNSON, KAREN | | 3512 MAIN ST #2 | | BARNSTABLE | MA | 02630 |
| 31709100C | SMITH, MARJORIE & AXELSON, GRETCHEN TRS | MARJORIE SMITH TRUST | 3512 MAIN ST UNIT 3 | | BARNSTABLE | MA | 02630 |
| 31709100D | STANLEY, ELAINE C TR | ELAINE STANLEY TRUST | 3512 MAIN STREET UNIT 4 | | BARNSTABLE | MA | 02630 |
| 31709100E | YOUNG, JACQUELYN L | | 3512 ROUTE 6A - UNIT 5 | | BARNSTABLE | MA | 02630 |
| 31709100F | MAZZOLA, MARGARET A | %LAWLESS, ROBERT | PO BOX 1165 | | BARNSTABLE | MA | 02630 |
| 31709100G | TOPOR, WALTER S & MARCIA A | | 3512 MAIN STREET UNIT 7 | | BARNSTABLE | MA | 02630 |
| 31709100H | DOBLMAIER, ANTON P TR | ANTON P DOBLMAIER 200 TRUST | 3512 MAIN ST- UNIT 8 | | BARNSTABLE | MA | 02630 |

| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|--------------------------------------|---------|----------------------|----------------|------------|-------|-------|
| 31709100I | ACKER, MICHELLE A | | 3512 MAIN ST UNIT 9 | | BARNSTABLE | MA | 02630 |
| 31709100J | FREITAS, CAROLINE S | | 360 COLES NECK ROAD | | WELLFLEET | MA | 02667 |
| 31709100K | TU, MARY ANN L & GARDNER, KEITH E | | 104 E 81ST ST APT 4H | | NEW YORK | NY | 10028 |
| 31709100L | KETHRO, KATHLEEN M | | PO BOX 233 | | BARNSTABLE | MA | 02630 |



1 POOL PLAN
A1.0 1/8"=1'-0"

RENOVATION/ADDITION FOR:
KRISTIN LEARY & JEFFREY SILBER
3485 MAIN ST (ROUTE 6A)
BARNSTABLE MA 02630

TITLE:
PLANS

A3 architects, inc
Residential Commercial Net Zero
831 Main Street
Dennis, MA 02638
508.694.7887 phone
www.a3architectsinc.com

NOTE: AS COMPLETE, THIS PROPERTY OF THE ARCHITECT HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED WITHOUT WRITTEN CONSENT OF THE ARCHITECT © A3 ARCHITECTS, INC. 2020

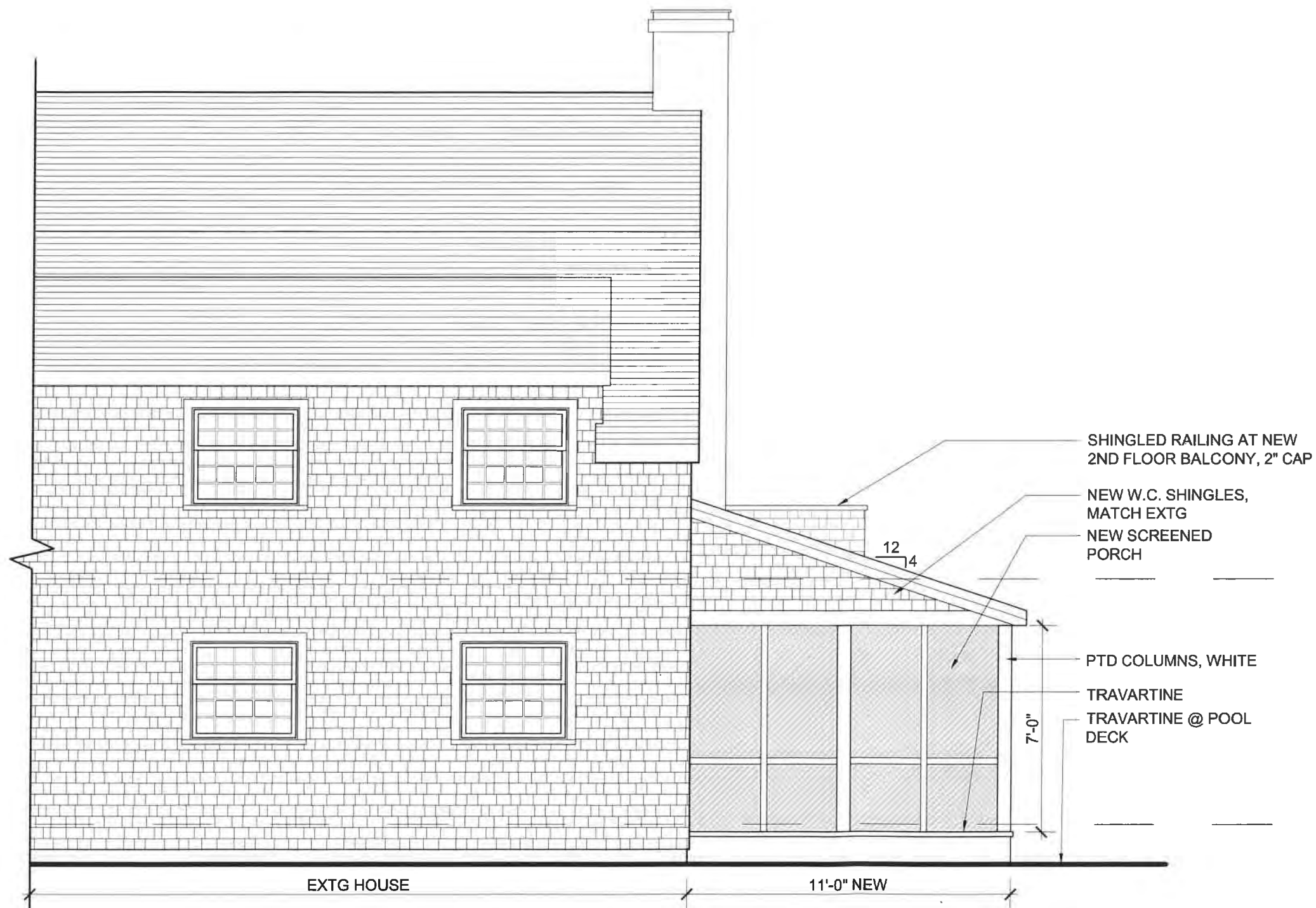
Date:
OKH: 12.16.2020

A1.0

| DOOR SCHEDULE: | | | | | | | | | |
|----------------|-----|------------------------|---------------|---------|--------------|----------|--------------------------|-------|-------------|
| DOORS | | | | | | | | | |
| KEY | QTY | FRAME SIZE | ROUGH OPENING | MODEL | MANUFACTURER | GLAZING | TYPE | MAT'L | REMARKS |
| ① | 1 | 5'-11 1/4" X 6'-7 1/2" | 6'-0" X 6'-8" | FWH6068 | ANDERSEN 400 | 15 LITES | FRENCHWOOD INSWING DOORS | | LIVING ROOM |
| ② | 1 | 5'-11 1/4" X 6'-7 1/2" | 6'-0" X 6'-8" | FWH6068 | ANDERSEN 400 | 15 LITES | FRENCHWOOD INSWING DOORS | | LIVING ROOM |
| ③ | 1 | 2'-6 1/8" X 6'-7 1/2" | 2'-7" X 6'-8" | FWH2768 | ANDERSEN 400 | 15 LITES | FRENCHWOOD INSWING DOOR | | BEDROOM |

- All exterior doors TBD in color.
- Verify handing in field prior to ordering.

② DOOR SCHEDULE
A2.0 N.T.S.



① PARTIAL NORTH ELEVATION - STREET VIEW (ROUTE 6A)
A2.0 1/4"=1'-0"

RENOVATION/ADDITION FOR:
KRISTIN LEARY & JEFFREY SILBER
3485 MAIN ST (ROUTE 6A)
BARNSTABLE MA 02630

TITLE:
ELEVATIONS

831 Main Street
Dennis, MA 02638
508.694.7887 phone
www.a3architectsinc.com

A3 architects, inc
Residential Commercial Net Zero

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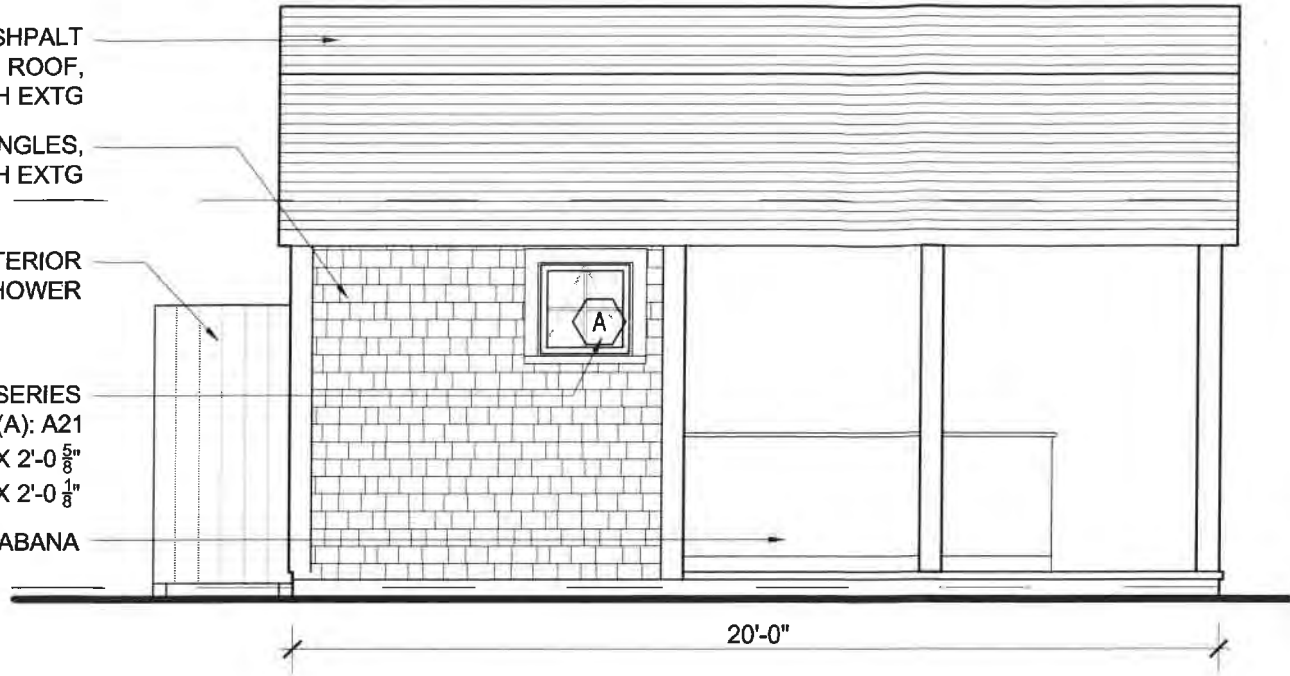
Date: 12.16.2020
OKH:

A2.0



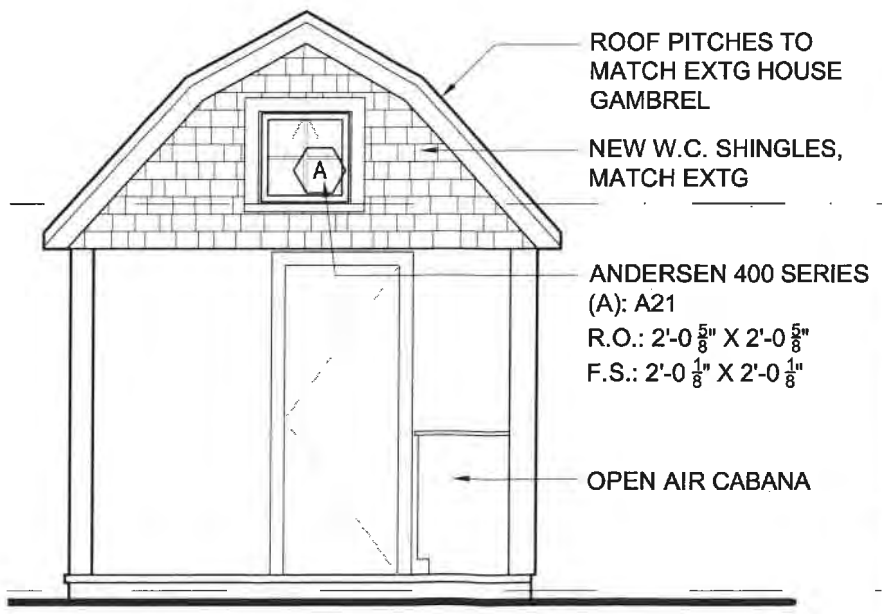
1 WEST ELEVATION (RIGHT SIDE)
A2.1 1/4"=1'-0"

- NEW ARCH. ASPHALT SHINGLE ROOF, MATCH EXTG
- NEW W.C. SHINGLES, MATCH EXTG
- CEDAR EXTERIOR SHOWER
- ANDERSEN 400 SERIES (A): A21
- R.O.: 2'-0 ⁵/₈" X 2'-0 ⁵/₈"
- F.S.: 2'-0 ¹/₈" X 2'-0 ¹/₈"
- OPEN AIR CABANA



3 CABANA LEFT ELEVATION (HOUSE)
A2.1 1/4"=1'-0"

- NEW FRENCH DOOR IN EXTG WINDOW R.O.
- SHINGLED RAILING AT NEW 2ND FLOOR BALCONY, 2" CAP
- NEW ARCH. ASPHALT SHINGLE ROOF, MATCH EXTG
- NEW SCREENED PORCH
- NEW FRENCHWOOD DOORS, TYP OF 2
- PTD COLUMNS, WHITE
- TRAVARTINE
- TRAVARTINE @ POOL DECK



2 CABANA FRONT ELEVATION (POOL)
A2.1 1/4"=1'-0"

RENOVATION/ADDITION FOR:
KRISTIN LEARY & JEFFREY SILBER
3485 MAIN ST (ROUTE 6A)
BARNSTABLE MA 02630

TITLE:
ELEVATIONS

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Date:
OKH: 12.16.2020

A2.1



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.toyan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign : New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 11/24/20

NOTE: All applications must be signed by the current owner

Owner (print): Janet & Richard Ruggiero Telephone #: (508) 310-3236
 Address of Proposed Work: 75 Harvey Ave. Village Barnstable Map Lot # 319 099
 Mailing Address (if different) 9 Lakewood Road, Natick, MA 01760

Owner's Signature: [Signature]
 Description of Proposed Work: Give particulars of work to be done: Add 24' x 8' FRONT PORCH, Add 12'4 x 12' Rear Kitchen Addition, Add rear dormer to accomodate new interior staircase

Agent or Contractor (print): Thomas DeMayo Telephone #: (508) 364-1491
 Address: 95 North Winds Lane W. Barnstable Email: thomasdemayo@comcast.net
 Contractor/Agent' signature: [Signature]

| | |
|---|--|
| <p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p> | <p>This Certificate is hereby APPROVED / DENIED</p> |
|---|--|

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) poured concrete as per plan

Siding Type: Clapboard ___ shingle ___ other match existing as per plan
Material: red cedar ___ white cedar ___ other ___ Color: ___

Chimney Material: ___ Color: ___

Roof Material: (make & style) match existing as per plan Color: plan

Roof Pitch(s): (7/12 minimum) ___ (specify on plans for new buildings, major additions)

Window and door trim material: wood match existing as per plan other material, specify ___

Size of cornerboards ___ size of casings (1 X 4 min.) ___ color ___

Rakes 1st member ___ 2nd member ___ Depth of overhang ___

Window: (make/model) Anderson material as per plan color plan
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply): as per plan
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: as per plan material ___ Color: ___

Garage Door, Style ___ **Size of opening** ___ **Material** ___ **Color** ___

Shutter Type/Style/Material: ___ **Color:** ___

Gutter Type/Material: match existing as per plan color: ___

Deck material: wood ___ other material, specify ___ Color: ___

Skylight, type/make/model/: ___ material ___ Color: ___ Size: ___

Sign size: ___ **Type/Materials:** ___ **Color:** ___

Fence Type (max 6') Style ___ **material:** ___ **Color:** ___

Retaining wall: Material: ___

Lighting, freestanding ___ **on building** ___ **illuminating sign** ___

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] **Print Name** Thomas DeMayo

5. SIGNS

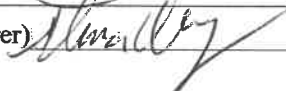
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- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
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- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer)  Print Thomas DeMayo
 Date: 11/29/20 Tel. Phone no's: (508) 364-1491
 Email thomastemayo@comcast.net

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| | | |
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|----------------------|-----------------------|---------------------|

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| DENIALS |
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| BUILDING PERMITS, OTHER AGENCY CONTACTS |
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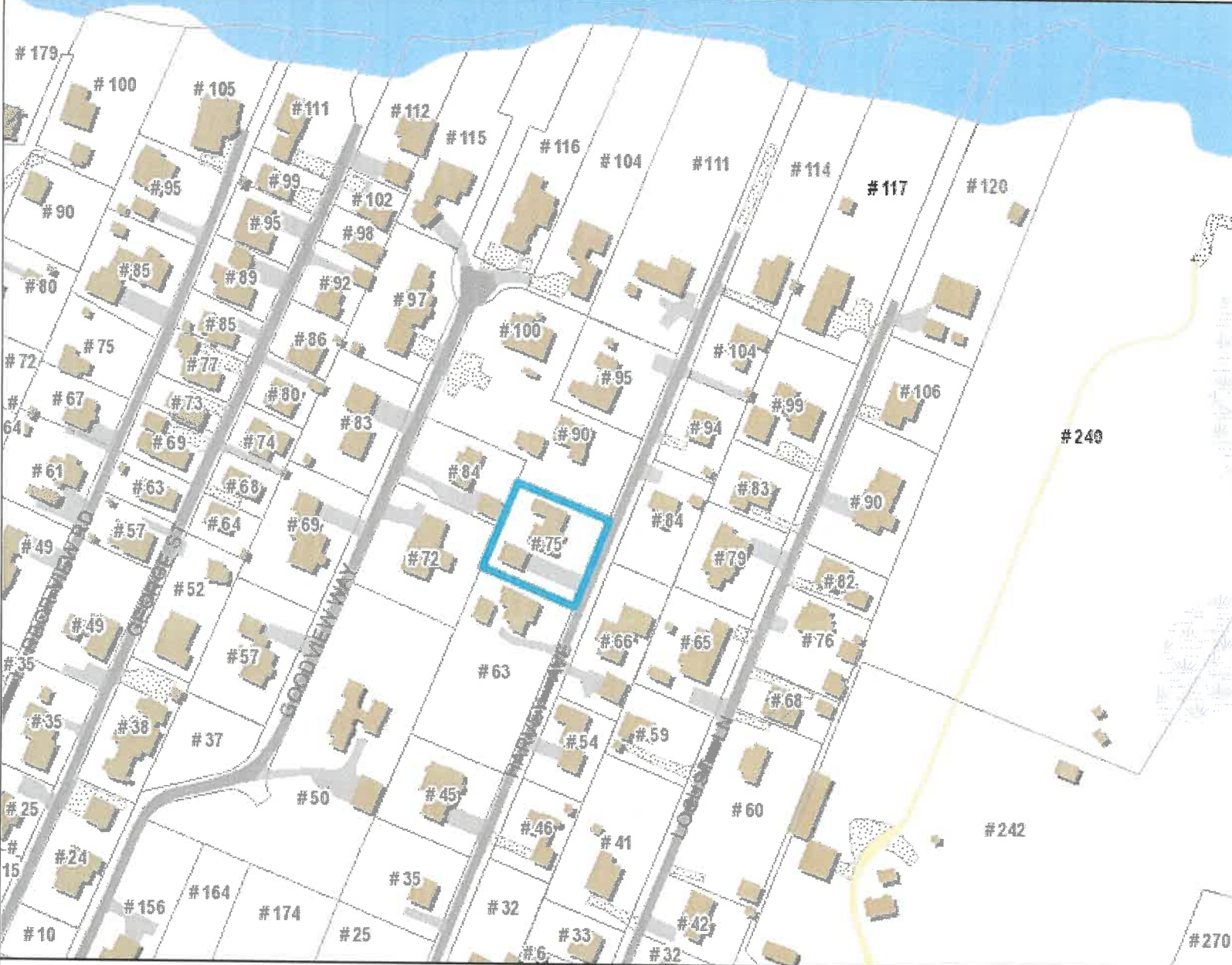
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| |
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| QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787 |
|--|



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies



Map printed on: 11/25/2020



Approx. Scale: 1 inch = 167 feet



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Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 11/25/2020



Approx. Scale: 1 inch = 21 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

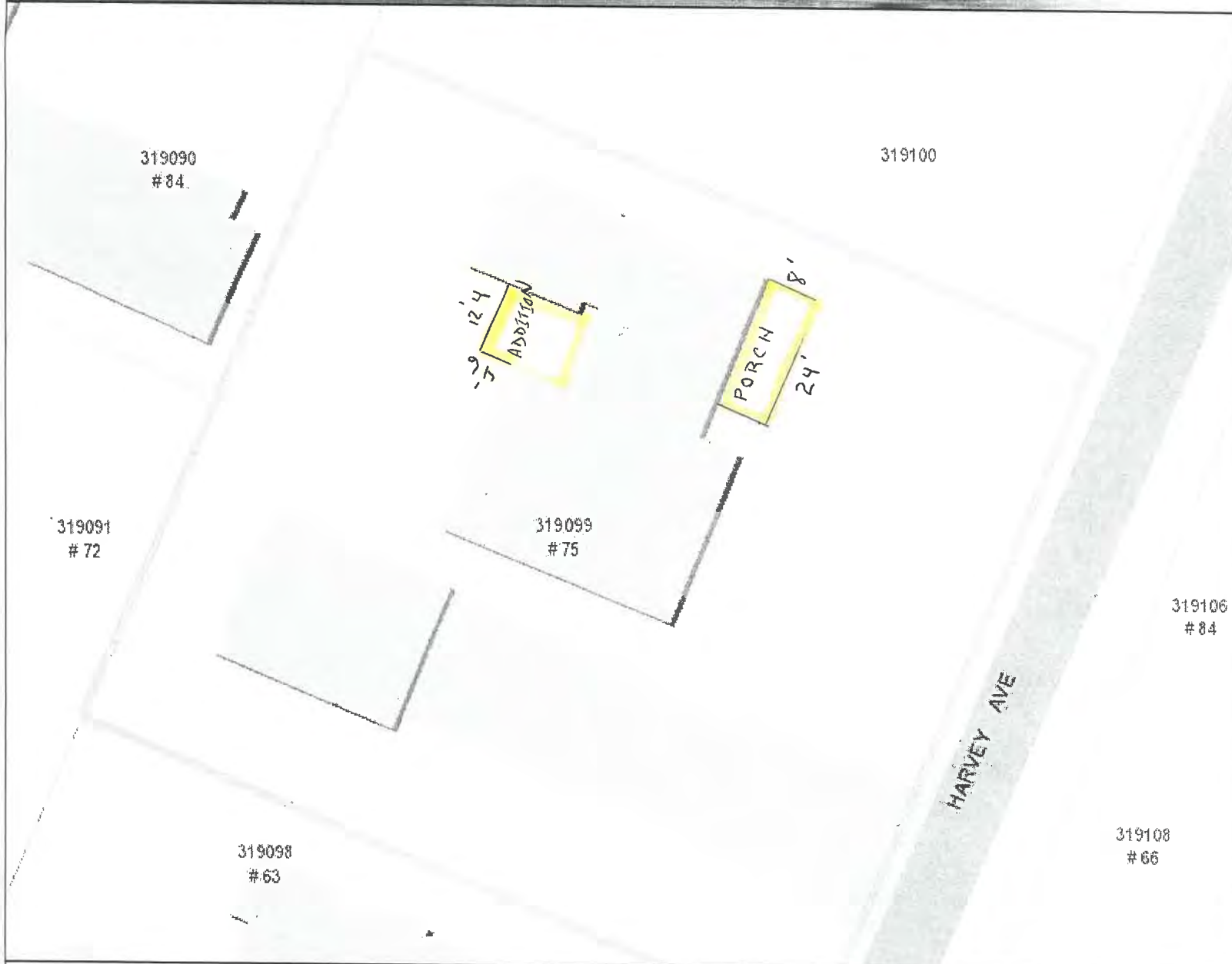
508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 319099

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

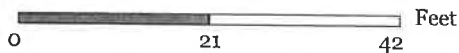
| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|----------------------------------|-------------------------------|--------------------------|---------------------|--------------|-------|-------|
| 319090 | MALONEY, JOHN W & KATHLEEN P TRS | 84 GOODVIEW QUALIFIED P R T | 275 MASSACHUSETTS AVENUE | | LEXINGTON | MA | 02420 |
| 319091 | OSBORNE, VIRGINIA D TR | GOODVIEW WAY NOMINEE TRUST | 6749 STREAM VIEW LANE | | WARRENTON | VA | 20187 |
| 319098 | ECKBLOM, CAROL L | | 94 MASSACHUSETTS AVENUE | | BRAINTREE | MA | 02184 |
| 319099 | RUGGIERO, JANET & RICHARD | | 9 LAKEWOOD ROAD | | NATICK | MA | 01760 |
| 319100 | VAN LIEW, HUGH D TR | 100 GOODVIEW WAY REALTY TRUST | C/O JOEL VAN LIEW | 246 HENRY STREET #4 | BROOKLYN | NY | 11201 |
| 319106 | SLOANE, BARRY L & IRENE F TRS | HARVEY AVENUE REALTY TRUST | 17 CARTER DR | | FRAMINGHAM | MA | 01701 |
| 319108 | HARVEY HOUSE LLC | | 212 26TH STREET #210 | | SANTA MONICA | CA | 90402 |



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- ▭ Buildings
- ▭ Approx. Building
- ▭ Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▣ Bridge
- ▣ Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 11/23/2020



Approx. Scale: 1 inch = 21 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us





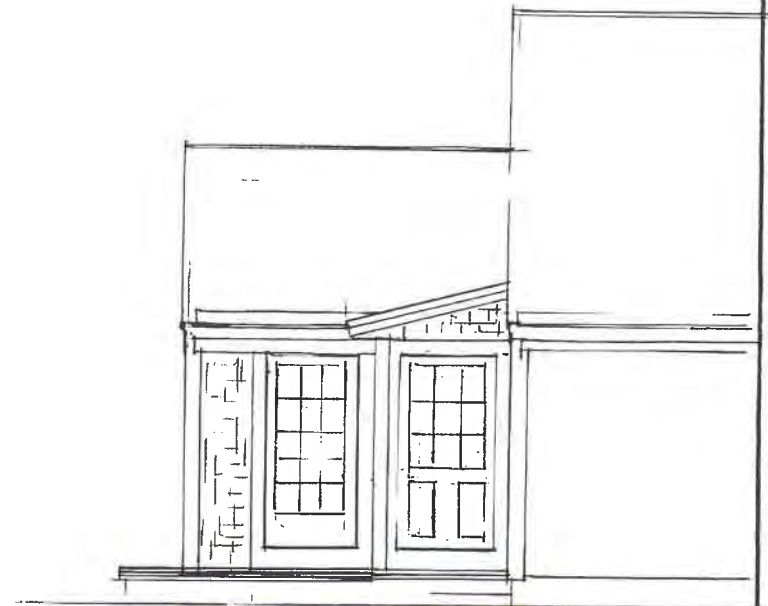




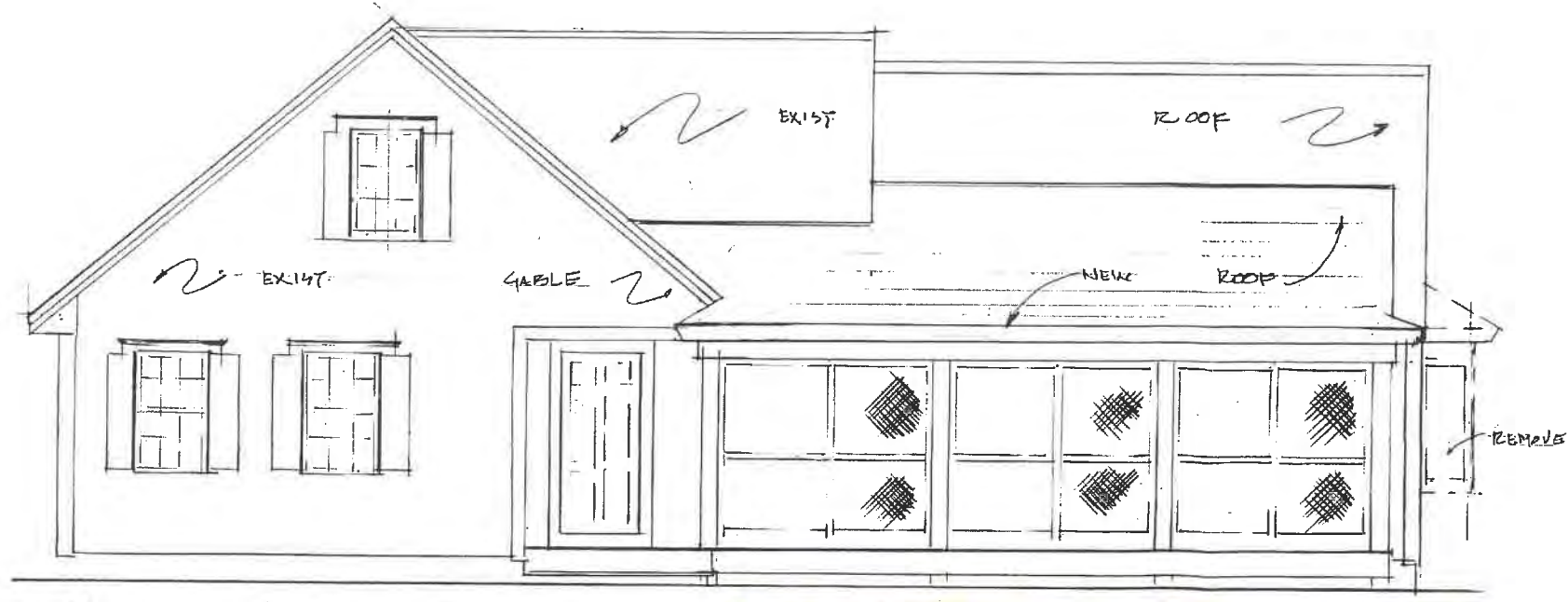


REAR ELEVATION

SCALE 1/4" = 1'-0"

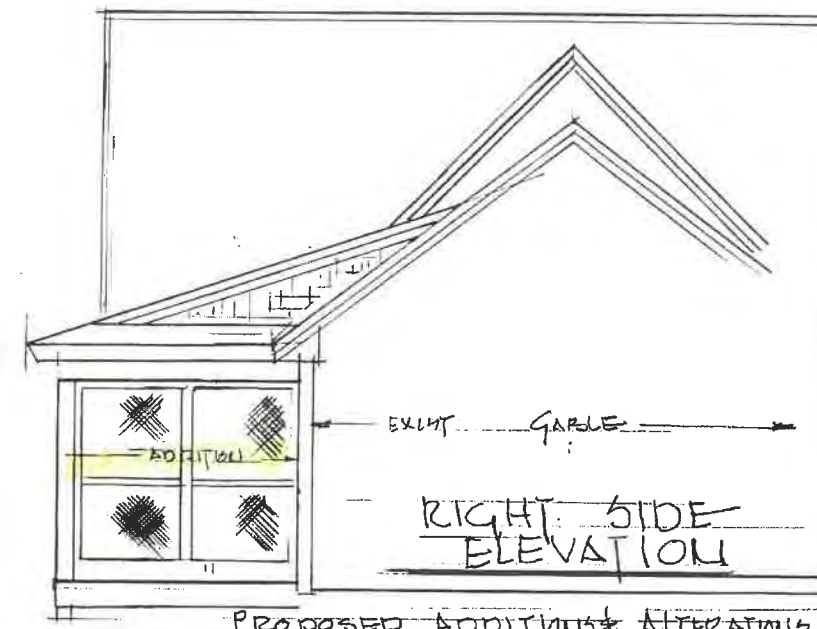


LEFT SIDE ELEVATION



FRONT ELEVATION

SCALE 1/4" = 1'-0"



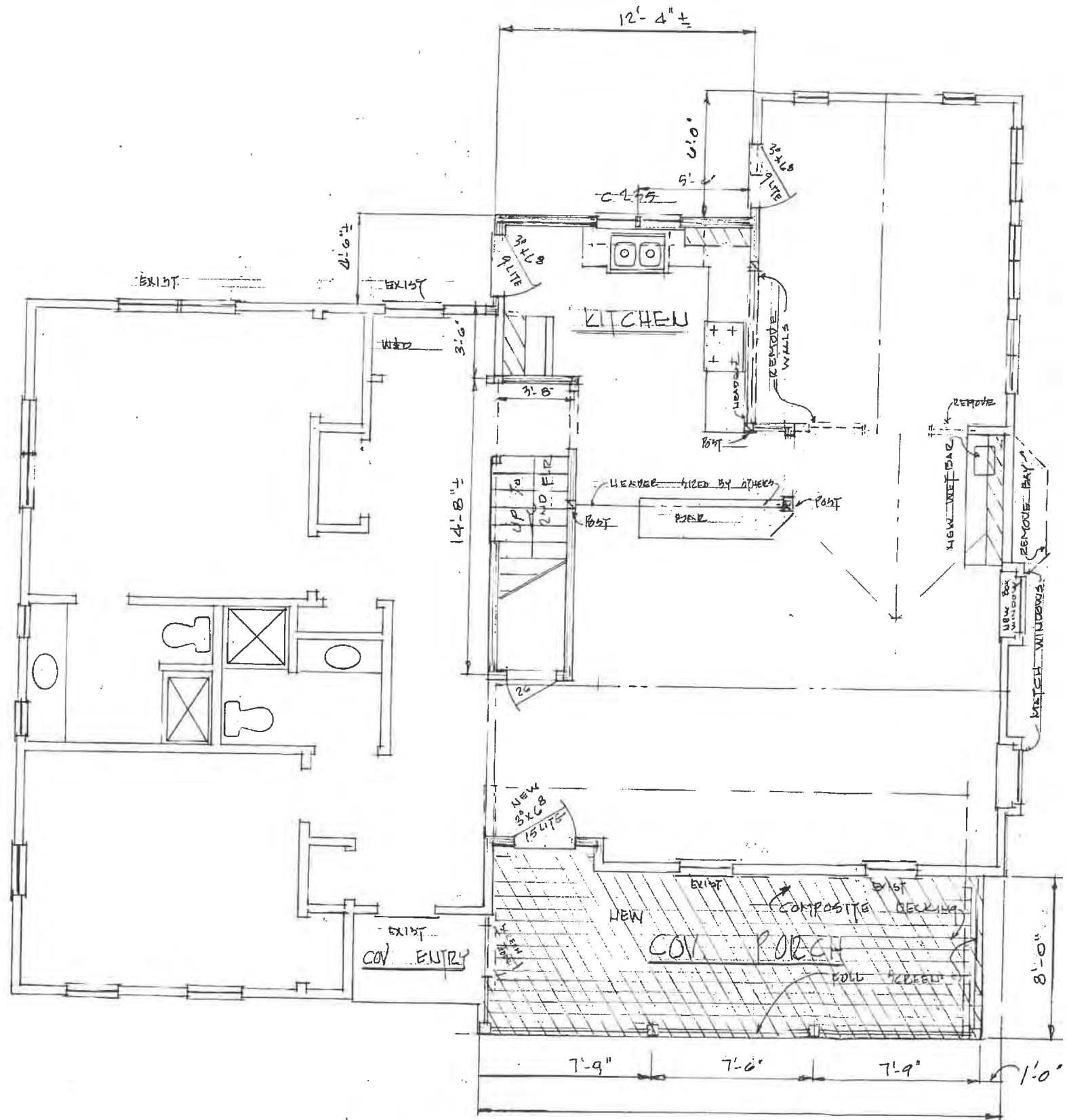
RIGHT SIDE ELEVATION

PROPOSED ADDITIONS & ALTERATIONS
AT 75 HARVEY AVE BARNSTABLE MA.

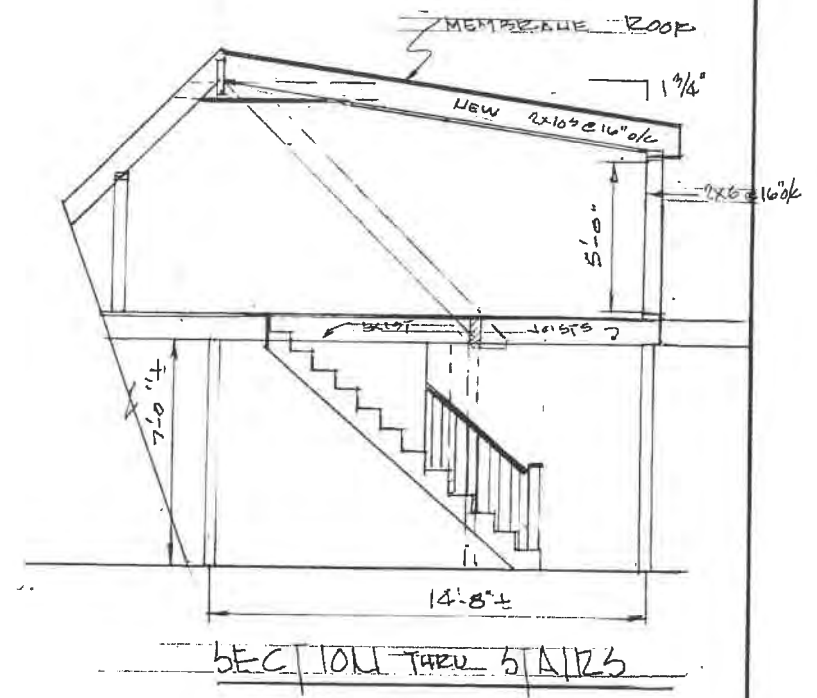
FOR MR & MRS RICHARD RUGGIERO
9 LAKEWOOD RD NATICK, MA

| | |
|--|---------------------------------------|
| DONALD I. MEYER Professional Building Designer P.O. Box 532 So. Yarmouth, MA 02664 (508) 394-5296 | DATE 10-17-2020 REVISED 11-13-2020 |
| | DRAWING NUMBER ONE of 3 |

2020-016



FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

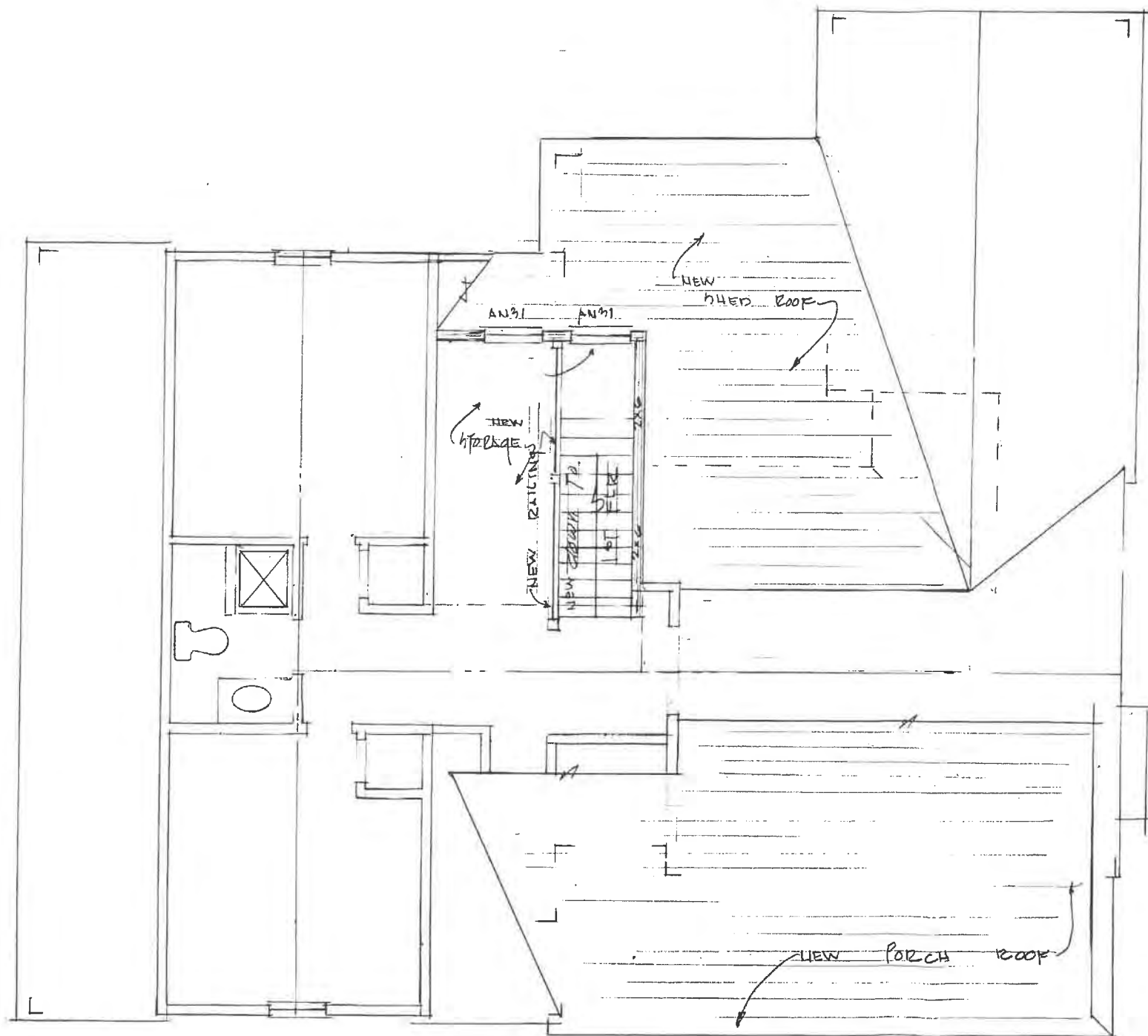


Proposed Additions & Alterations
AT 75 HARVEY AVE BARNSTABLE
MA
FOR MR & MRS RICHARD RUGGIERO
9 LAKEWOOD RD NATICK, MA

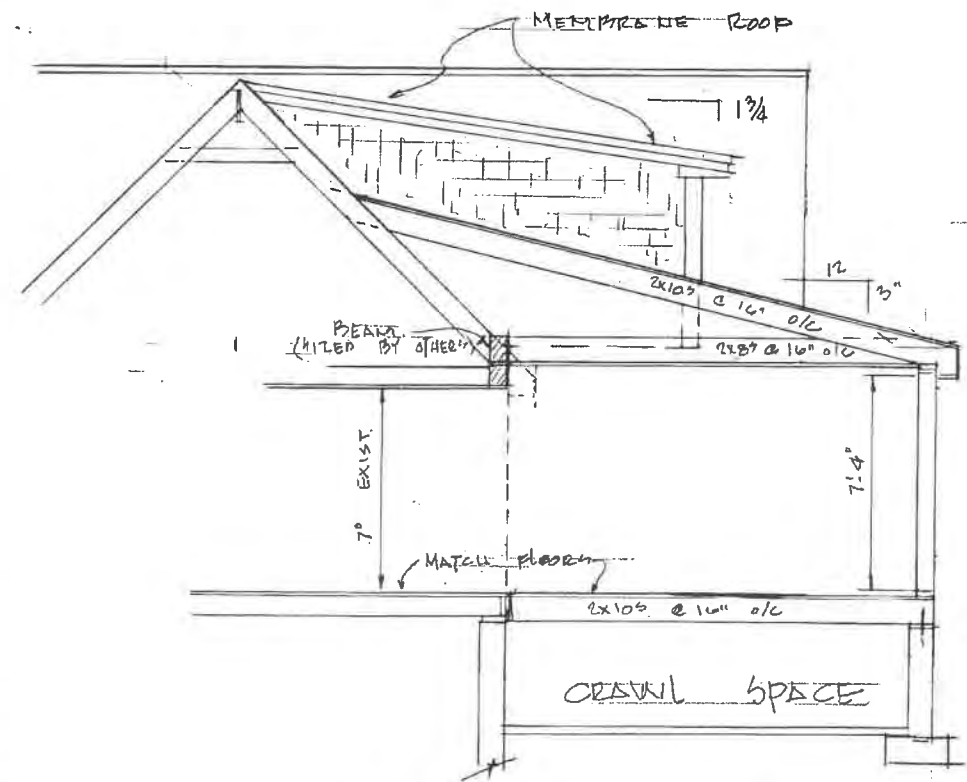
DONALD I. MEYER
Professional Building Designer
P.O. Box 532
So. Yarmouth, MA 02664
(508) 394-5296

| |
|-------------------------|
| DATE: 10-17-2020 |
| REVISED 11-13-2020 |
| DRAWING NUMBER TWO of 3 |

910-0202



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



SECTION THRU KITCHEN
SCALE 1/4" = 1'-0"

PROPOSED ADDITIONS & ALTERATIONS
AT 75 HARVEY AVE. BURLINGAME, MA

FOR MR & MRS RICHARD RUGGIERO
9 LAKEWOOD RD. NATICK, MA

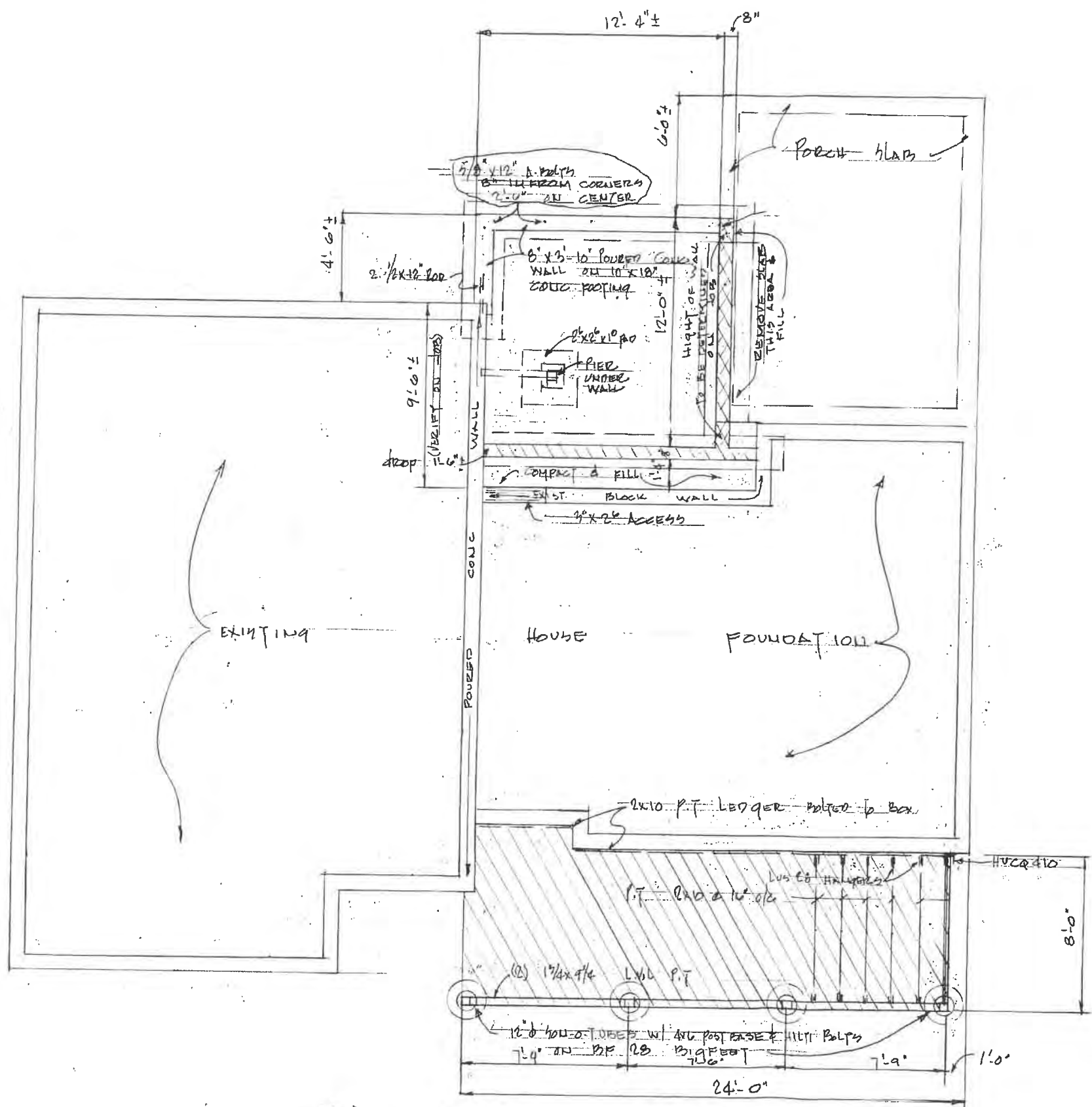
DONALD I. MEYER
Professional Building Designer
P.O. Box 532
So. Yarmouth, MA 02564
(508) 394-5296

DATE: 10-16-2020
REVISED: 11-13-2020

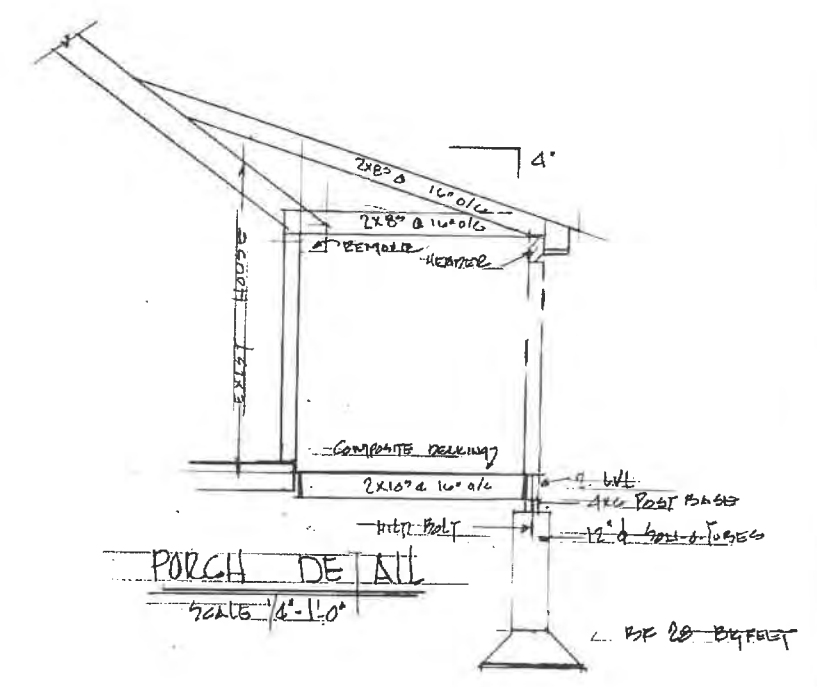
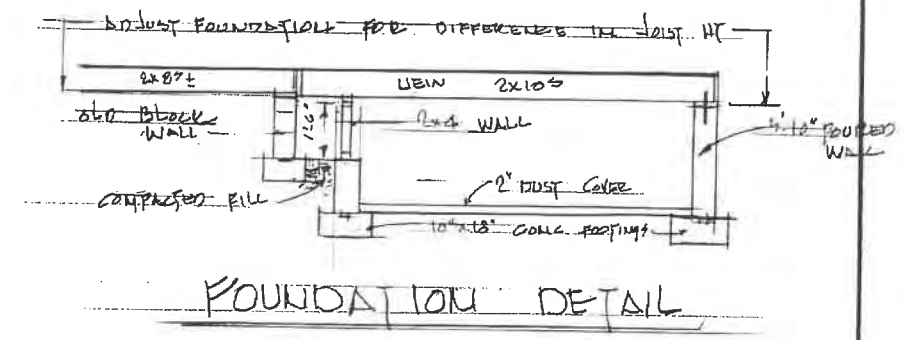
DRAWING NUMBER
THREE of 3

NEW ENGLAND PHOTOGRAPHICS & SUPPLY CO. 18728

2020-016



FOUNDATION PLAN
 SCALE 1/4" = 1'-0"



PROPOSED ADDITIONS & ALTERATIONS
 AT 75 HARVEY AVE BRISTOL MA

FOR MR & MRS RICHARD RUGGIERO
 9 LAKEWOOD RD NATICK, MA

DONALD I. MEYER
 Professional Building Designer
 P.O. Box 532
 So. Yarmouth, MA 02664
 (508) 394-5296

DATE: 11-13-2020
 REVISED
 DRAWING NUMBER
 POUR of 4

910-0202



Barnstable Old Kings Highway Historic District Committee
 200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: New Addition Alteration
2. Type of Building: House Garage/barn Shed Commercial Other
3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
4. Sign : New Sign Existing Sign Repainting Existing Sign
5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 11/24/20

NOTE: All applications must be signed by the current owner

Owner (print): Paul S Venditti, Trustee Telephone #: 508-776-9736
 Address of Proposed Work: 273 Millway Village Barnstable Map Lot # 301 007
 Mailing Address (if different) P.O. Box 558 Barnstable, MA 02630
 Owner's Signature Paul Venditti

Description of Proposed Work: Give particulars of work to be done: Replace 45 double hung windows on sides and rear of building

Agent or Contractor (print): Thomas DeMayo Telephone #: (508) 364-1491
 Address: 95 North Wicks Lane, W. Barnstable Email: thomasdemayo@comcast.net
 Contractor/Agent' signature: Thomas DeMayo

| | |
|-------------------------------|---|
| <i>For committee use only</i> | This Certificate is hereby APPROVED / DENIED |
| Date _____ | Members signatures _____ |
| _____ | |
| _____ | |
| Conditions of approval _____ | |
| _____ | |

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle other _____ **MATCH EXISTING**
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) **Anderson** material **AS PER PLAN** color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply): **AS PER PLAN**
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ **Size of opening** _____ **Material** _____ **Color** _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood ___ other material, specify _____ Color: _____

Skylight, type/make/model: _____ material _____ Color: _____ Size: _____

Sign size: _____ **Type/Materials:** _____ Color: _____

Fence Type (max 6') Style _____ **material:** _____ **Color:** _____

Retaining wall: Material: _____

Lighting, freestanding _____ **on building** _____ **illuminating sign** _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer)  _____ **Print Name** **Thomas J. Mayo**

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) Thomas J. Mayo Print Thomas J. Mayo
 Date: 11/24/20 Tel. Phone no's: (508) 364-1991
 Email thomasjmayo@comcast.net

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

APPEAL PERIOD

APPROVED PLANS

PLAN PICK UP

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings**
- Approx. Building
- Buildings
- Painted Lines**
- Parking Lots**
- Paved
- Unpaved
- Driveways**
- Paved
- Unpaved
- Roads**
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams**
- Marsh
- Water Bodies



Map printed on: 11/25/2020

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet

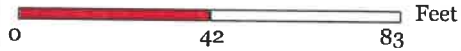
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Town of Barnstable GIS Unit
 367 Main Street, Hyannis, MA 02601
 508-862-4624
gis@town.barnstable.ma.us



Map printed on: 11/25/2020



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601
508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 301007

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|---|-----------------------|-----------------|----------------|---------------|-------|-------|
| 300027 | BARNSTABLE, TOWN OF (LDG) | | 367 MAIN STREET | | HYANNIS | MA | 02601 |
| 301007 | VENDITTI, PAUL S TR | LHH REALTY TRUST | PO BOX 558 | | BARNSTABLE | MA | 02630 |
| 301015 | TEAGUE, EDWARD B III TR | FOUR TEAGUE TRUST | 115 MAIN STREET | | YARMOUTH PORT | MA | 02675 |
| 301063001 | BLAIR, HENRY E & MURPHY, RAYMOND M TRS | MILL WAY REALTY TRUST | P O BOX 657 | | BARNSTABLE | MA | 02630 |

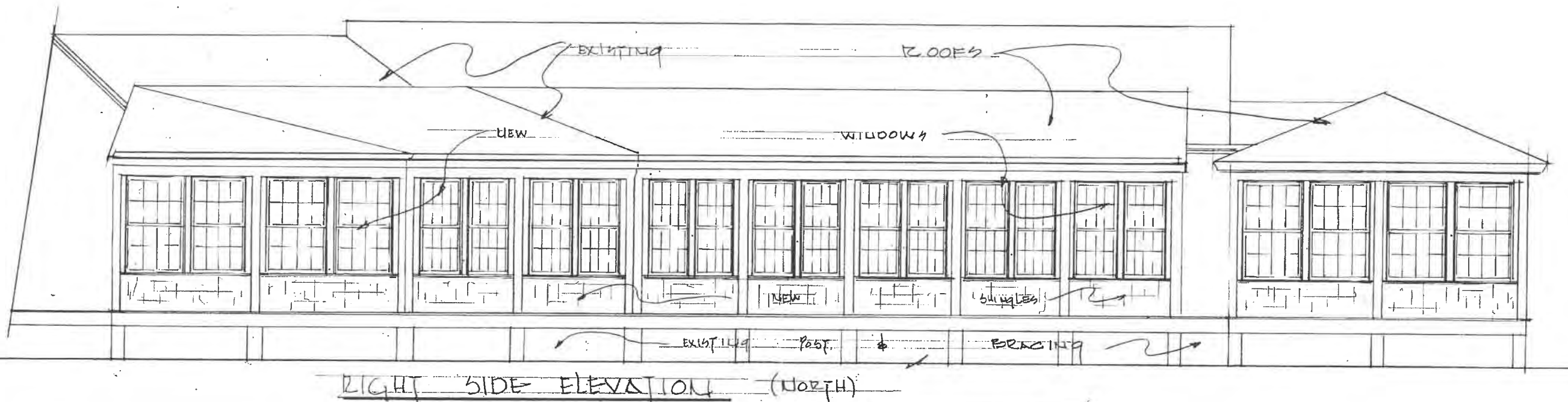
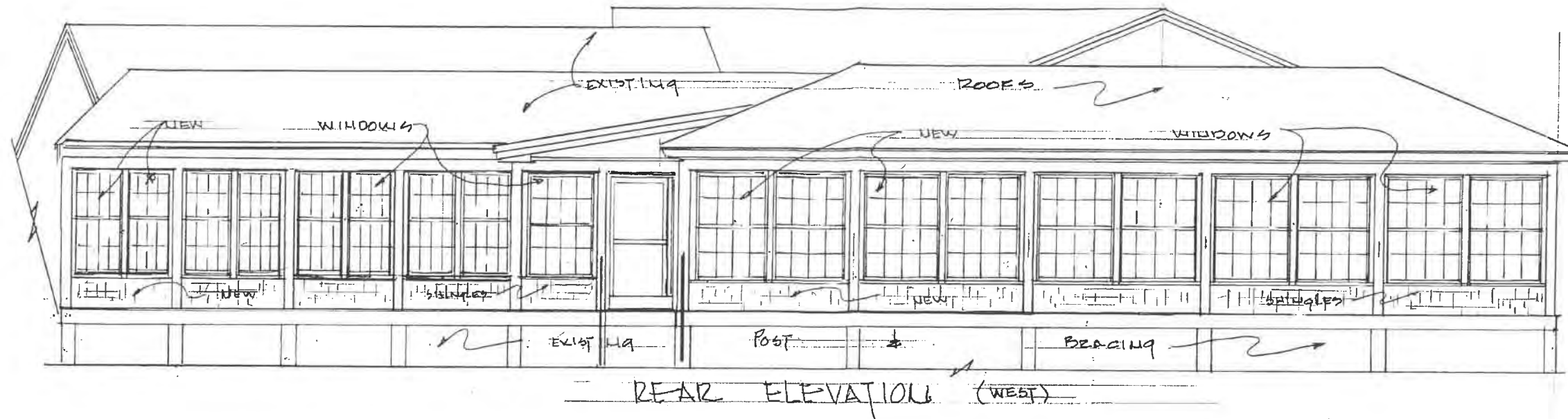




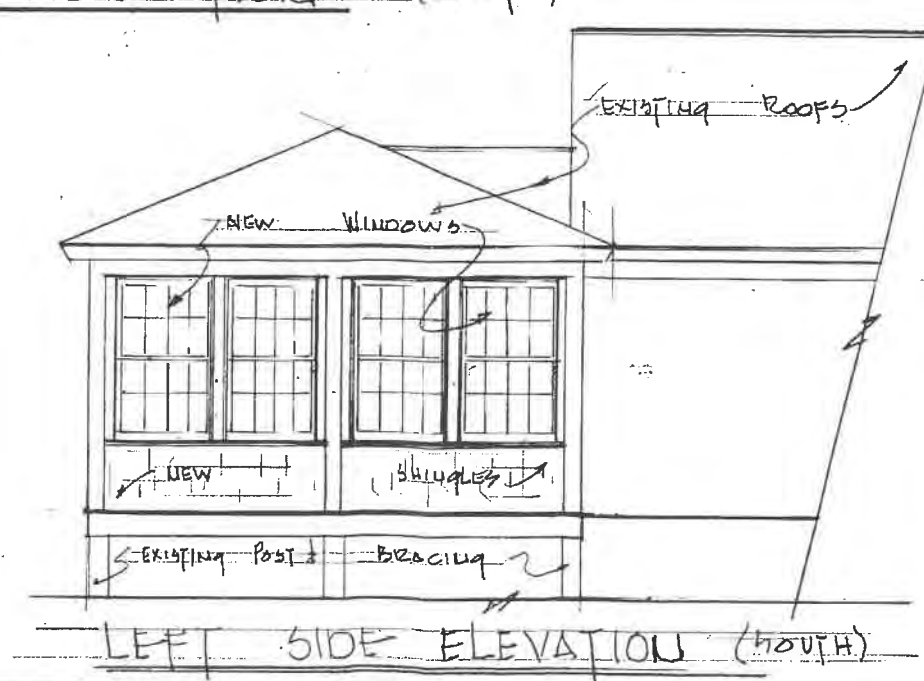








SCALE 1/4" = 1'-0"



PROPOSED WINDOW ALTERATIONS

| | |
|-----------------------------|---------|
| FOR MATTAKEESE WHARF | |
| 271 MILL LAKE BARNSTABLE MA | |
| DATE 11-24-2020 | REVISED |
| DRAWING NUMBER ONE of 1 | |

DONALD I. MEYER
 Professional Building Designer
 P.O. Box 532
 So. Yarmouth, MA 02664
 (508) 394-5296

2020-002

NEW ENGLAND PERFORMANCE & SUPPLY CO. 18775



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other - DECK
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 10-6-2020

NOTE: All applications must be signed by the current owner

Owner (print): STEPHEN ROBICHAUD Telephone #: 508-542-1130
 Address of Proposed Work: 63 MARBLE ROAD Village BARNSTABLE Map Lot # 316 / 033
 Mailing Address (if different) SAME

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: CONSTRUCT DECK ON NORTH SIDE OF HOUSE USING PRESSURE TREATED LUMBER, BIG FOOT FOOTINGS & MAHOGANY DECKING. ONE SECTION WILL BE 16' x 22 1/2', THE OTHER SECTION WILL BE 10 1/2' x 25'. TOTAL AREA 622 1/2 SQUARE FT. RETAINING WALL WILL BE STONE ALLEN BLOCKS.

Agent or Contractor (print): MICHAEL ROBICHAUD Telephone #: 774-836-7816
 Address: 47 MARBLE RD. BARNSTABLE, MA 02630 Email: MKR314@HOTMAIL.COM
 Contractor/Agent' signature: [Signature]

| | |
|---|--|
| <p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p> | <p>This Certificate is hereby APPROVED / DENIED</p> |
|---|--|

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other ___
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood other material, specify _____ Color: NATURAL

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: STONE - ALLEN BLOCKS

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer)  Print Name STEPHEN ROBICHAUD

5. SIGNS


- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Fees according to schedule, made payable to the Town of Barnstable
- \$17.25 check made payable to the Barnstable Patriot for the required legal ad notification
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer)  Print STEPHEN ROBICHAUD

Date: 10-6-2020 Tel. Phone no's: 508-542-1130
 Email STEVEHYANNIS@GMAIL.COM

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

| | | |
|---------------|----------------|--------------|
| APPEAL PERIOD | APPROVED PLANS | PLAN PICK UP |
|---------------|----------------|--------------|

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

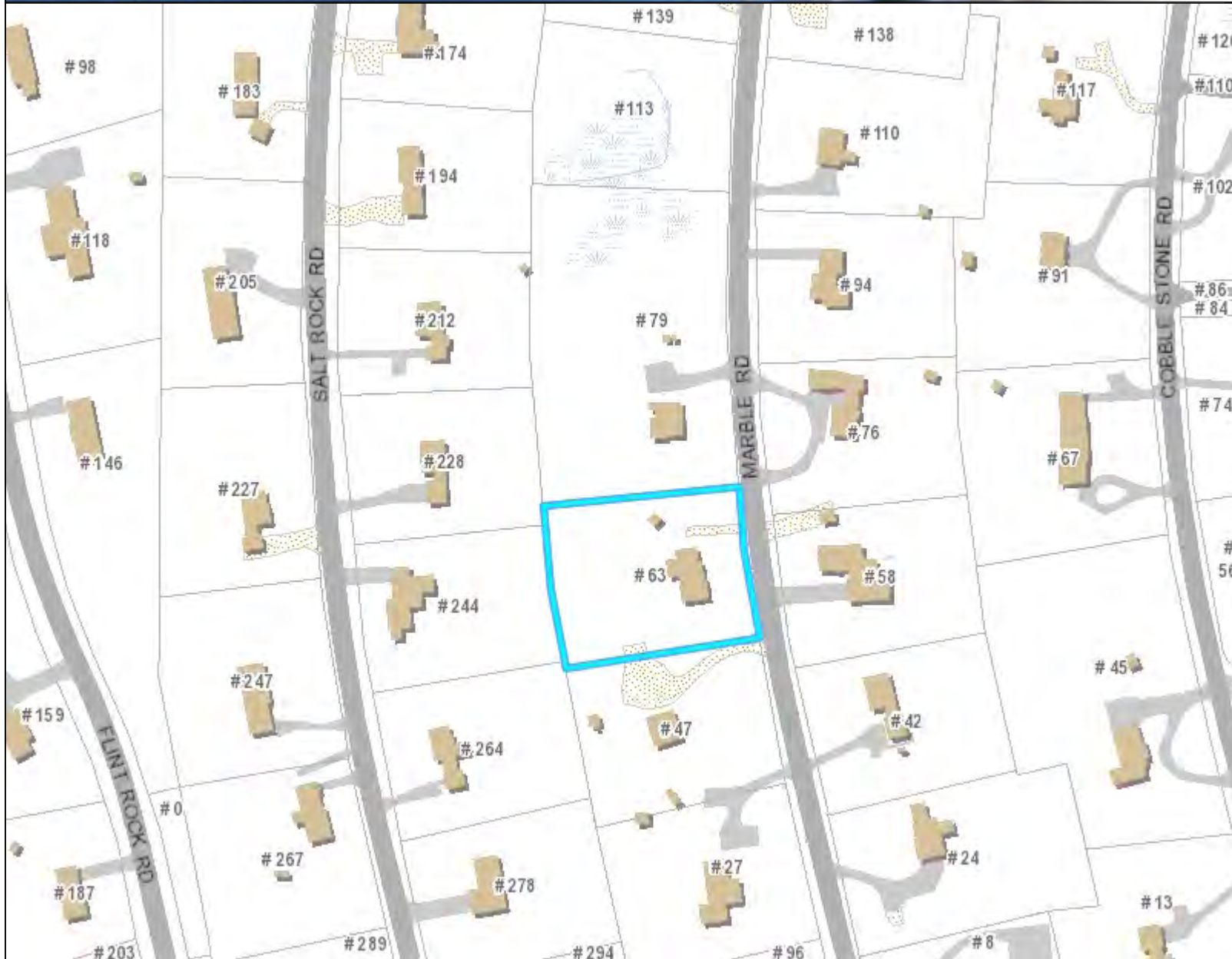
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BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
 Conservation Division 508-862-4093 Health Division 508-862-4644

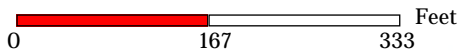
QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
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Map printed on: 12/4/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

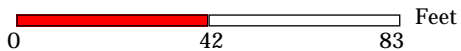
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 12/4/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

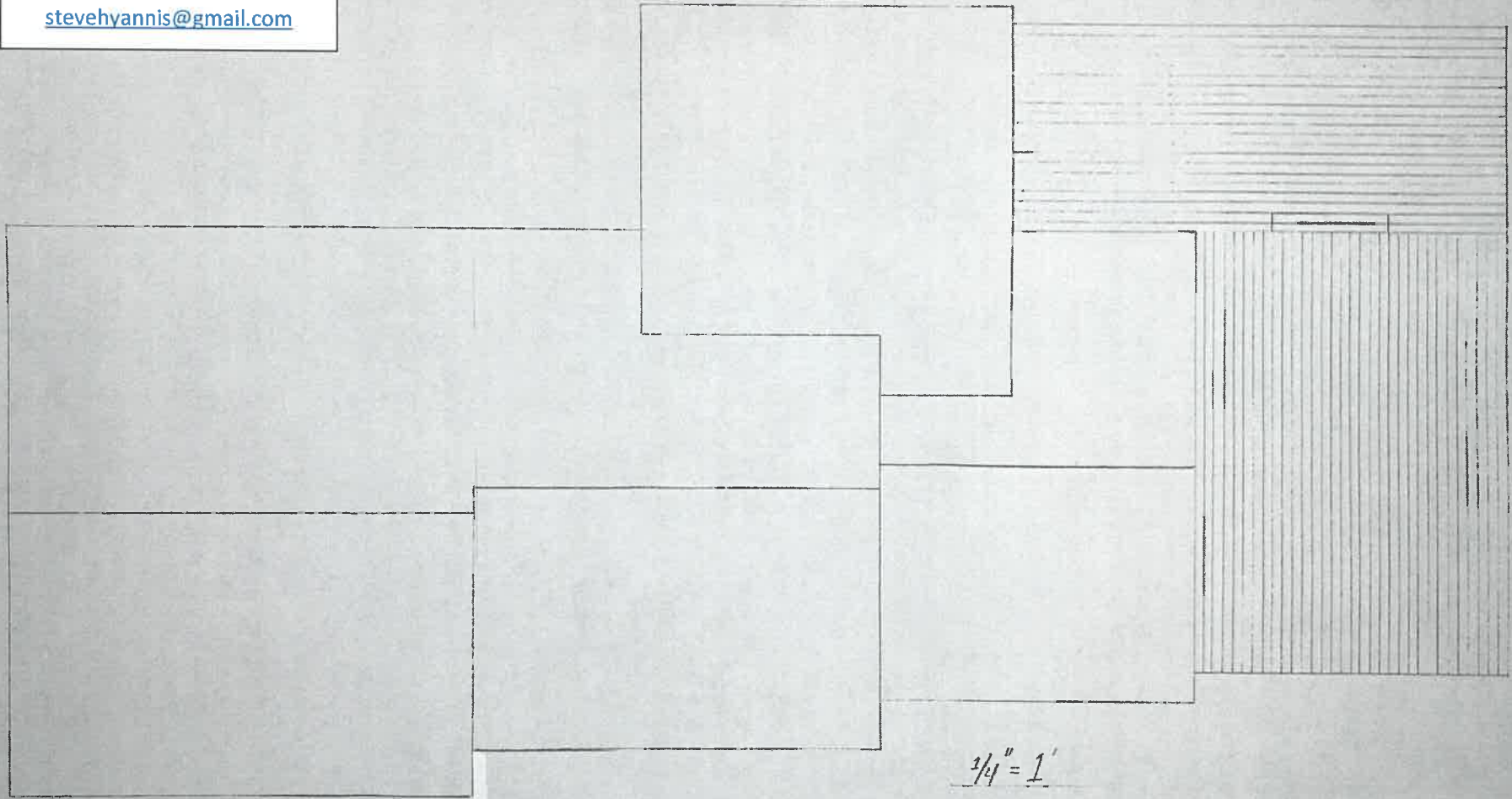
Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 316033

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|--|---------|--------------------|----------------|------------|-------|-------|
| 316020 | MAHONEY, JOHN J & SHAYNA E | | 228 SALT ROCK ROAD | | BARNSTABLE | MA | 02630 |
| 316022 | ATRIM, WILLIAM S & BOWEN, NANCY R E | | 93 MARY STREET | | BINGHAMTON | NY | 13905 |
| 316024 | DOHERTY, HEATHER | | 264 SALT ROCK ROAD | | BARNSTABLE | MA | 02630 |
| 316031 | ROBICHAUD, MICHAEL K | | 47 MARBLE ROAD | | BARNSTABLE | MA | 02630 |
| 316033 | ROBICHAUD, STEPHEN D | | 63 MARBLE ROAD | | BARNSTABLE | MA | 02630 |
| 316034 | KING, G ROBERT II & ELIZABETH JANE | | 58 MARBLE RD | | BARNSTABLE | MA | 02630 |
| 316035 | HALL, JOSHUA & MICHELLE | | 79 MARBLE ROAD | | BARNSTABLE | MA | 02630 |
| 316036 | MCMAHON, JOHN T & PAMELA A | | 76 MARBLE RD | | BARNSTABLE | MA | 02630 |

Stephen Robichaud
63 Marble Road
Barnstable, MA 02630
508 542 1130
stevehyannis@gmail.com

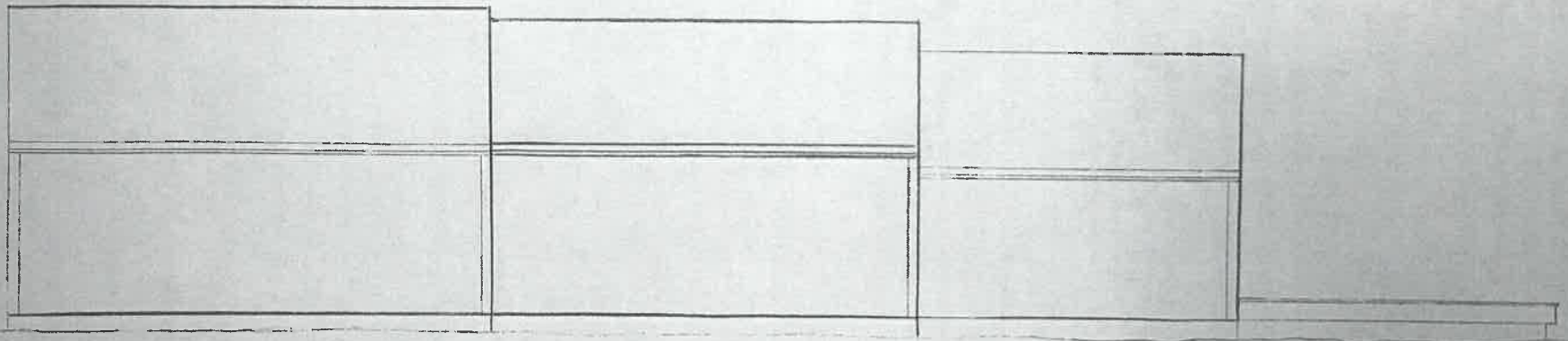
Rear



Overhead of new deck

Front

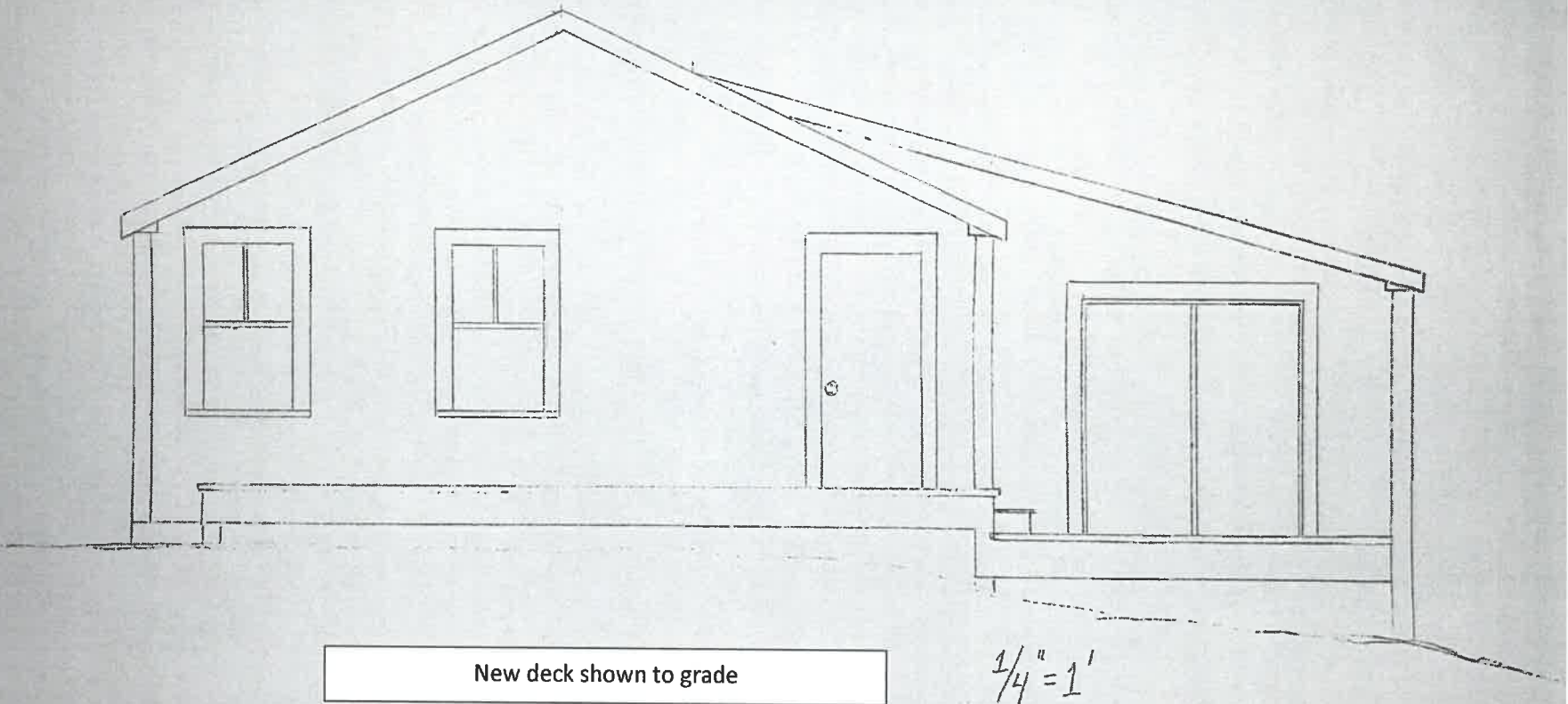
Stephen Robichaud
63 Marble Road
Barnstable, MA 02630
508 542 1130
stevehyannis@gmail.com



Front Elevation (facing West)

New deck shown to grade

Stephen Robichaud
63 Marble Road
Barnstable, MA 02630
508 542 1130
stevehyannis@gmail.com



New deck shown to grade

$$\frac{1}{4}'' = 1'$$

9

Right Side Elevation – Facing South

Right Side Elevation – Facing South

Two sections of deck:

- One section off sunroom measuring 10.5' x 25'
- One section off family room measuring 16' x 22.5'
- Total square footage = 622.5

The two sections will be connected by a step

Retaining Wall Location



Decking

5/4" x 6" Mahogany



Railing

Pressure treated 4x4 posts

Horizontal cedar or pine rails with Mahogany top rail

Possible built in bench made of same materials



Allen Block Retaining Wall

- Blocks
- Corner Pieces
- Caps





What Makes Allan Block The Best Designed Mortarless Retaining Wall Block On The Market?

When Bob Gravier invented the Allan Block Retaining Wall System no one, including Bob, realized how good his idea would work in the field. By 1997, after more than ten years of field performance, and approximately 30 million square feet (2.8 million square meters) of wall installed and performing well, it is time to summarize why Allan Block "Stands Above The Rest".

Allan Block's patented raised front lip is one of the key design features. The raised front lip and corresponding notch on the bottom of each block...

- Allows for blocks to be molded with varied setbacks. The Allan Block is available in three, six or twelve degree batters. The twelve degree battered Allan Block dates back to the original design and still the most commonly used product. The twelve degree batter reduces active earth pressures, which act on a wall or reinforced mass by up to 30 percent. Consequently, lower pressures result in walls that are more economical to construct (Fig. A).
- Provide a continuous shear key that is molded into the block. This design feature produces an interlock between each course of block providing the best block to block shear in the marketplace because of its continuity and the ability it provides to inspect it's condition at any time during the life cycle of the wall (Fig. B).
- Resists the migration of fines carried by water through the horizontal joints. This minimizes staining that occurs in areas were native soils contain fine red clays (Fig. C).

Allan Block's Hollow Core Design and closed cell configuration provides many benefits which add to the working stability and success of the system. The following list contains the major positive characteristics of this hollow core design:

- Moving water away from any retained soil mass is critical to the success of any retaining wall. In addition to a drain field constructed 12 in. (30 cm) behind the wall, the hollow core provides an alternate path for water to flow and drain away from the retained soil (Fig. D).
- Due to the closed cell configuration the unit weight of the facing increases when water backs up behind the wall. This provides additional stability during the most critical stages of wall performance. Additionally, the full wing design on each side of the Allan Block creates a secondary cell which is also closed and captures all of the rock fill to add to the facing weight and stability (Fig. E).

Effects Of Batter

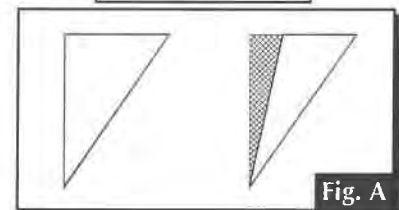


Fig. A

Shear Lock

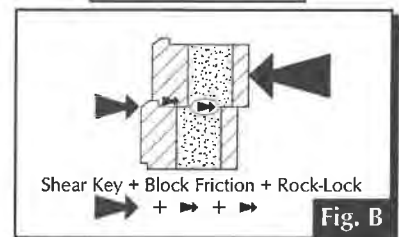


Fig. B

Filtration

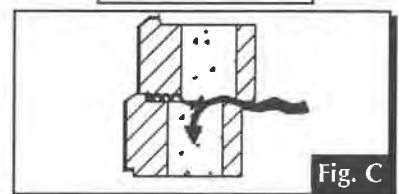


Fig. C

Self Draining

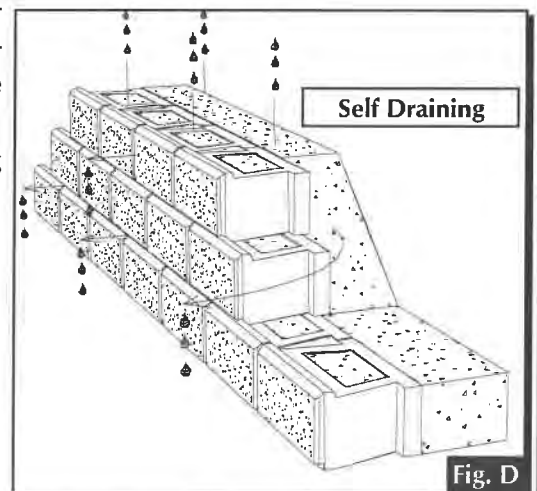


Fig. D

Closed Cell Configuration

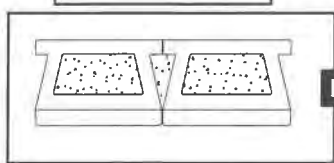
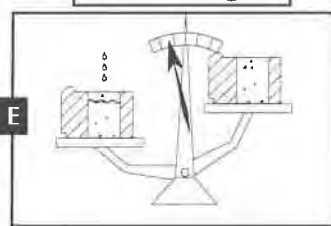
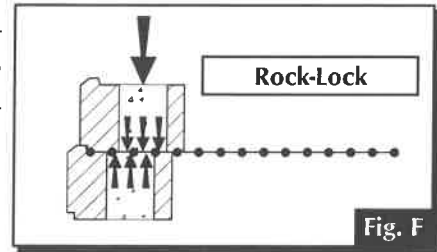


Fig. E

Water Weight

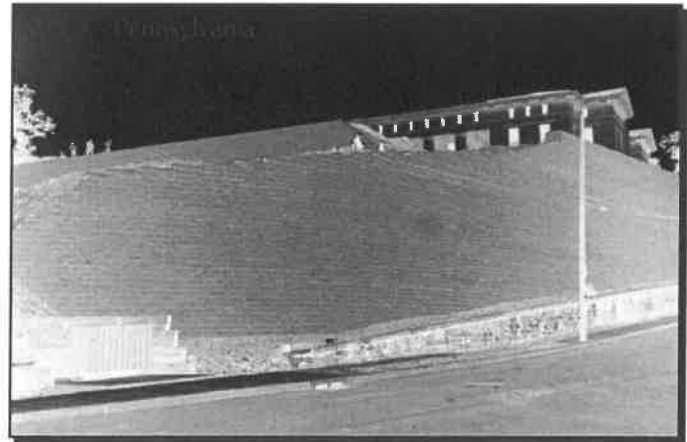
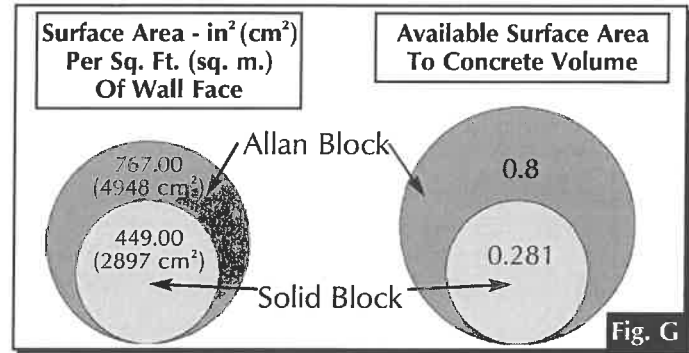


- Aggregate is not only used to fill the cores during construction. It is also compacted to provide an additional lock between the wall units. This positive continuous rock-lock connection adds greatly to the ability for the wall to lock on to the grid and allow the Allan Block, geogrid and reinforced soil to work as a composite mass. This continuous positive connection is superior to any point loaded pin system (Fig. F).
- The additional surface area on the inside of the core allows for faster drying of saturated block. This is critical to eliminate freeze thaw durability concerns. Without the presence of water, freeze thaw cycles have no affect on concrete (Fig. G).
- The hollow core design provides for efficiencies in production, transportation and installation. This translates into a better quality product and installation for the same price.



Allan Block has the best track record for structural stability of all modular block wall products.

- The built in design features of Allan Block allow for the safe and effective construction of taller gravity walls, when compared with other modular block systems. When reinforcement is required, the ability to include a built-in batter reduces the amount of reinforcement required providing a more cost effective solution for the site.
- Allan Block has zero documented wall failures attributed to product design.
- Allan Block is the product which most closely simulates how high shear strength soils interact and hold their form. High shear strength soils, sand and gravel, possess three important characteristics. First, when a soils mass is loaded the internal ability of the soils to resist shear is hard to overcome. Secondly, soils of this type drain very well. And last, the open space configuration within high shear strength soils allows paths for frost prism to form thereby reducing the pressure within the soil mass.



Don't take our word on these items, let us prove it to you on your next project.

allanblock.com

The information shown here is for use with Allan Block products only.



© 1997 Allan Block Corporation • Bloomington, MN • 952-835-5309 • 952-835-0013 - Fax • Doc #R0538



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date November 18, 2020

NOTE: All applications must be signed by the current owner

Owner (print): Kevin & Jessica Sylver Telephone #: (508)744-7570

Address of Proposed Work: 121 Lombard Ave. Village W. Barnstable Map Lot # 155005002

Mailing Address (if different) _____

Owner's Signature _____

Description of Proposed Work: Give particulars of work to be done: Replace roof shingles with new Weathered Wood roof shingles. Replace cedar shingles with new natural cedar shingles. Replace cedar shingles on front of house with clapboard Color: Pacific Blue

Agent or Contractor (print): Rich Gardner Telephone #: (508)454-6215

Address: 92 Park Place Way, Mashpee, MA 02649 Email: _____

Contractor/Agent' signature: *Rich Gardner*

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard shingle other _____
Material: red cedar _____ white cedar other _____ Color: Pacific Blue

Chimney Material: _____ Color: _____

Roof Material: (make & style) CertainTeed/Asphalt _____ Color: Weathered Wood
Landmark

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood _____ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

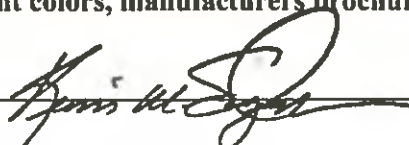
Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer)  Print Name Kevin M. Sylver



08/12/2016



[Home](#) > [Products](#) > [Lap Siding](#)

Share:   

Traditional Lap

Fiber Cement Lap Siding is available in both Traditional and Smooth premier finishes to match your home's style. All boards in 12' length.

[View sizes](#)

Color: Pacific Blue

Product Variations

Traditional Lap

Smooth Lap

7" Perfection Shingles

Stain

Primed



If you love blues, but want something a little deeper and more somber, consider Pacific Blue for your home. Pacific Blue is more subdued in tone than Coastal Blue, but still maintains the nearly universal popularity that all blue shades share for homes. You can find Pacific Blue on both coasts, as well as in the south and mid-west.

17. Pewter



For homeowners that want a hint of neutral color that will work in any surrounding, consider the shade Pewter. This very light gray is cool enough in tone to work on smaller homes, making

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.


6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) _____



Print Kevin M. Sylver

Date: November 18, 2020 Tel. Phone no's: (508) 744-7570

Email caperacer@comcast.net

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD

APPROVED PLANS

PLAN PICK UP

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

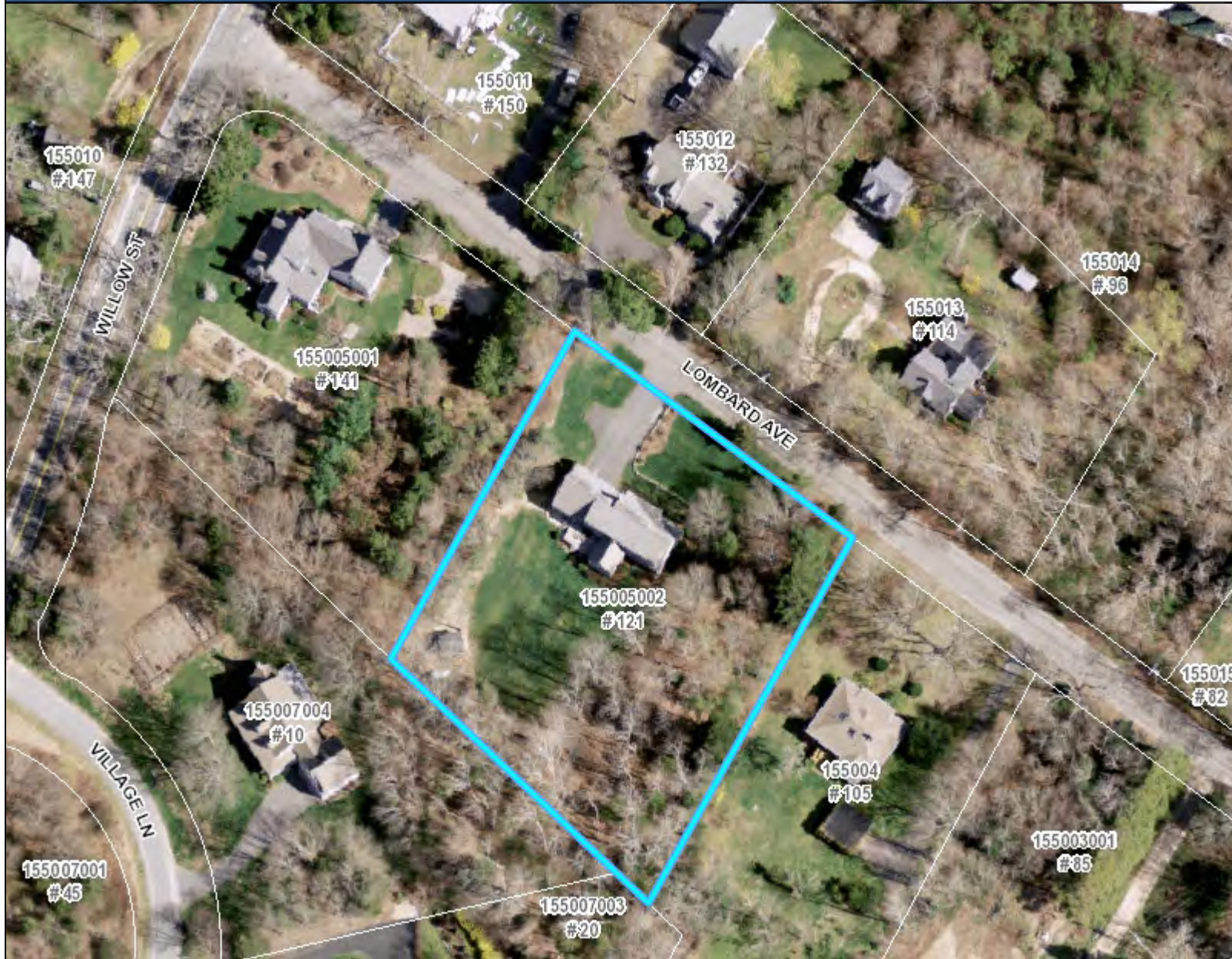
In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

Legend

Road Names



Map printed on: 12/9/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

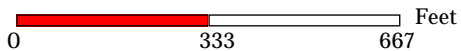
gis@town.barnstable.ma.us



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Water Bodies

Map printed on: 12/9/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 155005002

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|-----------------------------|---------------------|--------------------|----------------|-----------------|-------|-------|
| 155004 | LEX, EGILA TR | LEX REALTY TRUST | 105 LOMBARD AVE | | WEST BARNSTABLE | MA | 02668 |
| 155005001 | MACFADYEN, MARY L | | 141 LOMBARD AVENUE | | WEST BARNSTABLE | MA | 02668 |
| 155005002 | SYLVER, KEVIN M & JESSICA M | | 121 LOMBARD AVENUE | | WEST BARNSTABLE | MA | 02668 |
| 155007003 | PALEY, DORIS A TR | %PALEY, ELIZABETH A | 20 VILLAGE LANE | | WEST BARNSTABLE | MA | 02668 |
| 155007004 | FISHER, DAVID C & TRACEY | | 10 VILLAGE LN | | WEST BARNSTABLE | MA | 02668 |
| 155012 | PACELLA, PAUL R & DONNA M | | 132 LOMBARD AVE | | WEST BARNSTABLE | MA | 02668 |
| 155013 | JOHNSON, CAROL J | | 114 LOMBARD AVENUE | | WEST BARNSTABLE | MA | 02668 |



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign : New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 11/21/2020

NOTE: All applications must be signed by the current owner

Owner (print): Douglas MacPhail Telephone #: 508-245-1801
 Address of Proposed Work: 45 Second way Village Barnstable Map Lot # 301-056

Mailing Address (if different) _____
 Owner's Signature Douglas MacPhail

Description of Proposed Work: Give particulars of work to be done: 12x16 wood shed. Cinder Block Base. 2x6 pressure treated base. 8ft 2x4 16 inch on center walls. 12x12 Pitch Roof. 24 inch on center roof truss. Double Door end with 4x8 doors. 1 Side Door 32x80." Asphalt Shingle Roof, Shiplap Siding.

Agent or Contractor (print): Self Telephone #: 508-245-1801
 Address: 45 Second way Email: Flycover@eoh.com
 Contractor/Agent signature: _____

| | |
|--|--|
| <p><i>For committee use only</i></p> <p>Date _____</p> <p>Conditions of approval _____</p> | <p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> |
|--|--|

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Cinder Block

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Shingle Color: Natural

Chimney Material: N/A Color: ---

Roof Material: (make & style) Asphalt Shingle Color: Black

Roof Pitch(s): (7/12 minimum) 12/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang 1 Ft

Window: (make/model) N/A material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: Wood 32 x 80 material wood Color: Green

Garage Door, Style N/A Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: N/A Color: _____

Gutter Type/Material: N/A Color: _____

Deck material: wood N/A other material, specify _____ Color: _____

Skylight, type/make/model/: N/A material _____ Color: _____ Size: _____

Sign size: N/A Type/Materials: _____ Color: _____

Fence Type (max 6') Style N/A material: _____ Color: _____

Retaining wall: Material: N/A

Lighting, freestanding N/A on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name Douglas McPherson

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

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- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) *Doug MacPhail* Print Doug MacPhail
 Date: 11/21/2020 Tel. Phone no's: 508.245.1801
 Email: FLYCOVER@aol.com

NOTE: The Old Kings Highway Historic District Committee **MAY DENY INCOMPLETE APPLICATIONS**

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

| | | |
|----------------------|-----------------------|---------------------|
| APPEAL PERIOD | APPROVED PLANS | PLAN PICK UP |
|----------------------|-----------------------|---------------------|

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| |
|----------------|
| DENIALS |
|----------------|

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| |
|--|
| BUILDING PERMITS, OTHER AGENCY CONTACTS |
|--|

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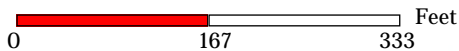
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| QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787 |
|--|



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 12/4/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

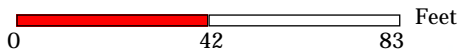
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 12/4/2020



Approx. Scale: 1 inch = 42 feet



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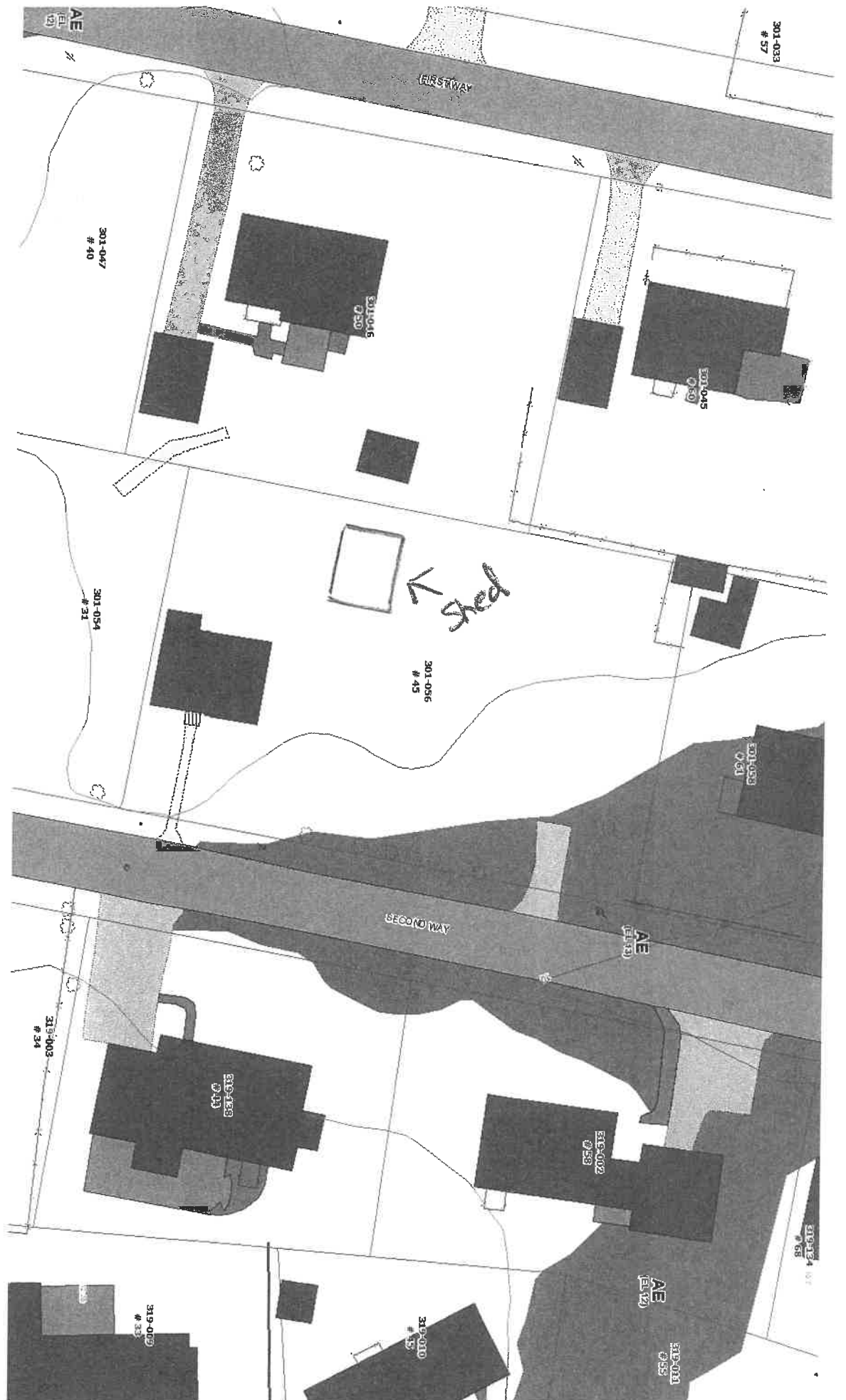
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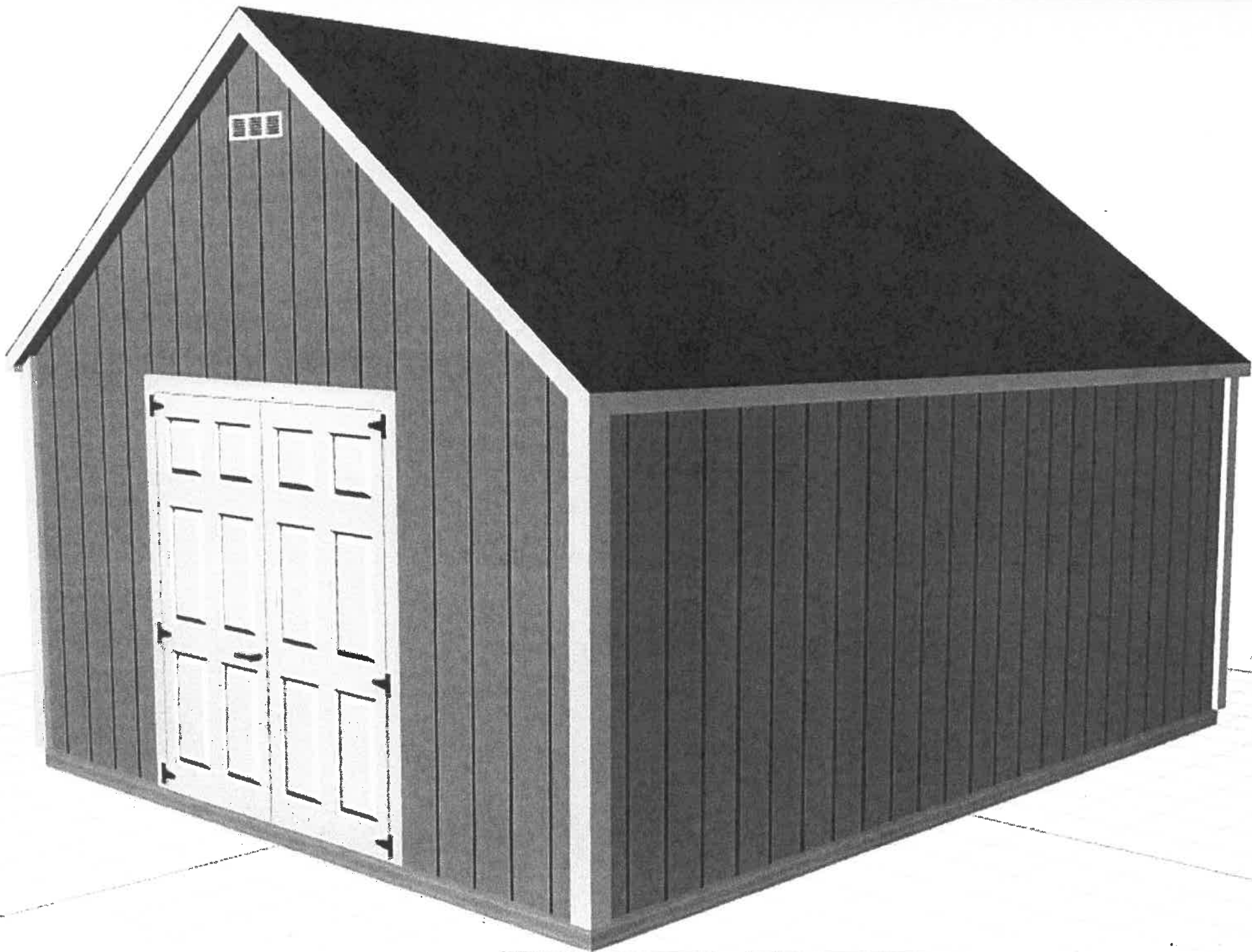
gis@town.barnstable.ma.us

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 301056

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|---------------------------------------|-----------------------------|-------------------|----------------|---------------|-------|-------|
| 301045 | COOK, JEFFREY W & IRENE E | | 60 FIRST WAY | | BARNSTABLE | MA | 02630 |
| 301046 | ANDRYAUSKAS, FRANK W & MARGARET A | | 85 PLEASANT ST | | LEXINGTON | MA | 02421 |
| 301054 | RICHARDS, BRUCE T & JANICE | | 31 SECOND WAY | | BARNSTABLE | MA | 02630 |
| 301056 | MACPHAIL, DOUGLAS | | 95 HILLSIDE DRIVE | | LONGMEADOW | MA | 01028 |
| 301058 | DEVLIN, ANN M | %GALVANI, ANN M TR | 31 SAWIN STREET | | NATICK | MA | 01760 |
| 319002 | LEWIS, ROBERT M & SMITH CHRISTINA TRS | 58 SECOND WAY BARNSTABLE RT | PO BOX 904 | | BARNSTABLE | MA | 02630 |
| 319138 | GRAFTON, RICHARD F JR, RICHARD III & | MICHAEL & SERAFINI, TODD | 44 CENTER STREET | | EAST WEYMOUTH | MA | 02189 |







Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 12/1/20

NOTE: All applications must be signed by the current owner

Owner (print): Ashley & Nick Tavona Telephone #: _____

Address of Proposed Work: Installation of Inground Pool Village Cummaquid Map Lot # 334050

Mailing Address (if different) 17 Iris Lane

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: We are to install a 16' x 32' x 8' deep inground swimming pool with a 6' Stockade fence along front of prop and a black aluminum 5' fence, w/ self closing and self latching gate.

Agent or Contractor (print): Swimming Pool and Spa Design Telephone #: 508-775-2433

Address: 87 Enterprise Rd. Hyannis, MA 02601 Email: swimmingpoolandspadesign@gmail.com

Contractor/Agent's signature: Steven Senna

| | |
|---|--|
| <p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p> | <p>This Certificate is hereby APPROVED / DENIED</p> |
|---|--|

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) Steven Serna Print Steven Serna

Date: 12/1/20 Tel. Phone no's: 508-775-2433
 Email swimmingpoolandspacdesign@gmail.com

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

| APPEAL PERIOD | APPROVED PLANS | PLAN PICK UP |
|---------------|----------------|--------------|
|---------------|----------------|--------------|

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is file with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14 day falls on a Saturday, your plans will be available the afternoon of the following business day.

| DENIALS |
|---------|
|---------|

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway Regional Historic District Commission.

| BUILDING PERMITS, OTHER AGENCY CONTACTS |
|---|
|---|

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year providing the request for such renewal is received at least 30 days prior to the expiration date.

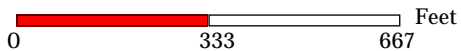
QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787



Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
- Water Bodies

Map printed on: 12/4/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

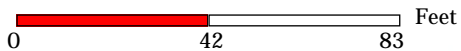
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 12/4/2020



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

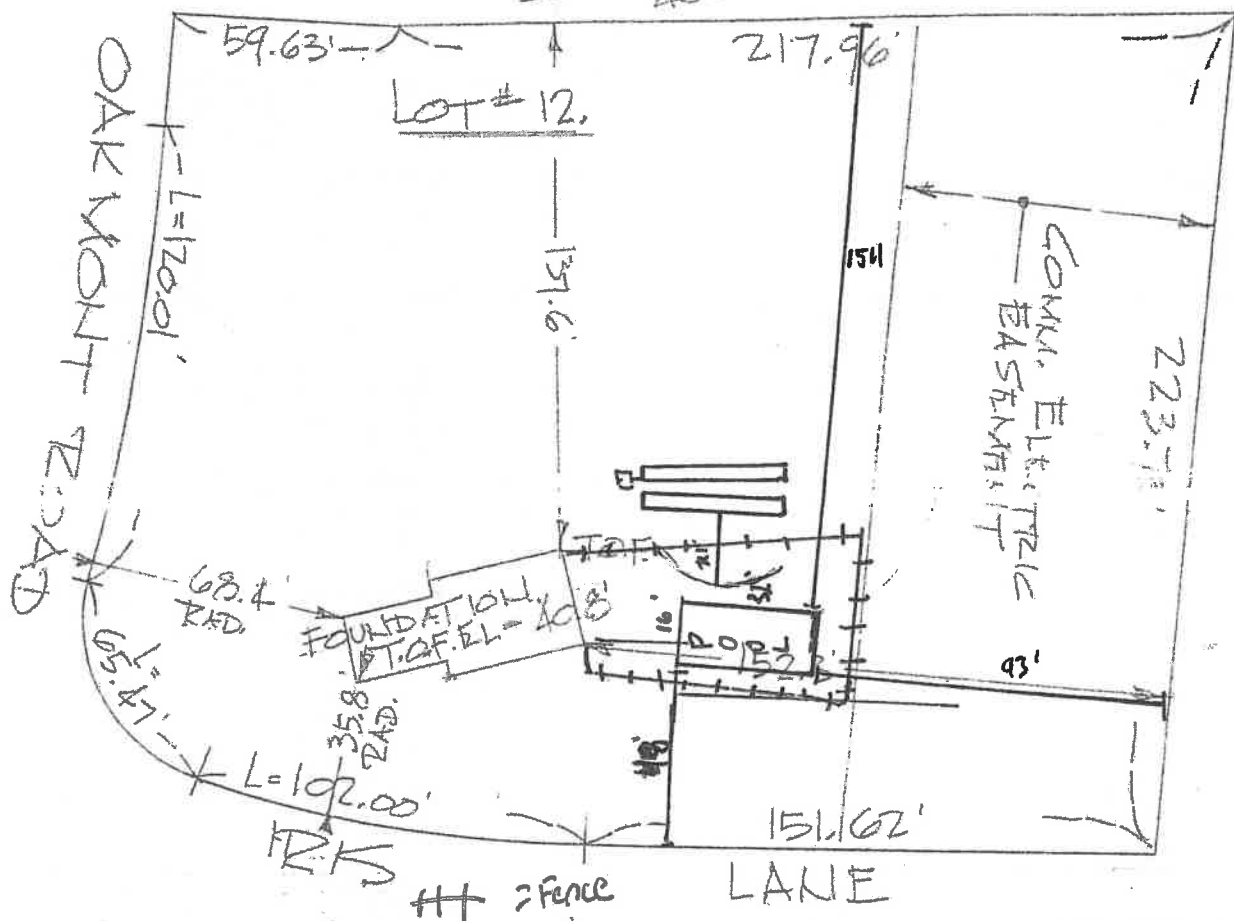
508-862-4624

gis@town.barnstable.ma.us

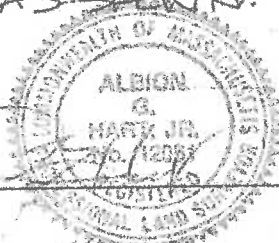
Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 334050

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

| Parcel ID | Owner 1 | Owner 2 | Address Line 1 | Address Line 2 | City | State | Zip |
|-----------|-------------------------------------|------------------------|----------------------|----------------|----------------|-------|-------|
| 334025 | GIBSON, RUSSELL A JR & JAMIE L | | 298 OAKMONT RD | | YARMOUTH PORT | MA | 02675 |
| 334049 | LABRIE, ROBERT J & MARIE ANN | | PO BOX 442 | | CUMMAQUID | MA | 02637 |
| 334050 | TAVANO, NICOLAS & SALMON, ASHLEY | | 17 IRIS LANE | | BARNSTABLE | MA | 02630 |
| 334050001 | DAVENPORT, DEWITT P TR | DAVENPORT REALTY TRUST | 20 NORTH MAIN STREET | | SOUTH YARMOUTH | MA | 02664 |
| 334054 | NARDONE, WILLIAM A & DEBORAH J | | P O BOX 335 | | CUMMAQUID | MA | 02637 |



I HEREBY CERTIFY THAT THE FOUNDATION, DEPICTED HEREON, IS SITUATED ON THE GROUND AS SHOWN.



11/23/99

SIGNED AND SEALED IN TRED #12051

AS-BUILT FOUNDATION PLOT PLAN ON LOT #12 PLAN BOOK 400 PG. 82 ASS'YS, MAP 334 PARCEL 50 17 IRIS LANE CUMMAQUID BARNSTABLE MA.

PREPARED FOR:

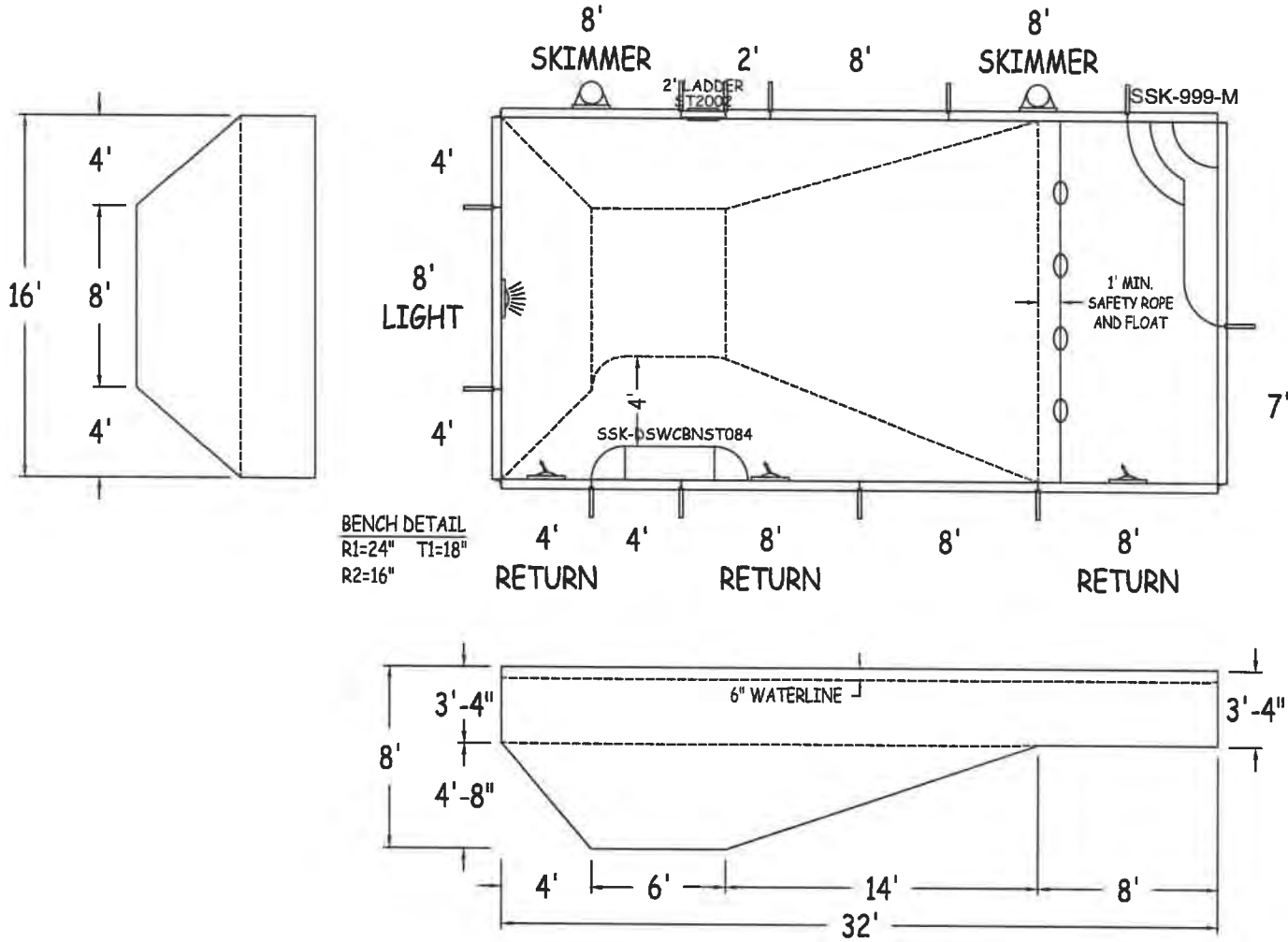
CASEY HOMES, INC.

SCALE 1" = 50'

NOV. 23, 1999

B098-2155

IN ACCORDANCE WITH ANSI/APSP/ICC-5 2011, THE INSTALLER IS RESPONSIBLE FOR PLACING ONE SKIMMER FOR EVERY 800 SQUARE FEET OF SURFACE AREA AND ONE RETURN FOR EVERY 300 SQUARE FEET OF SURFACE AREA.



LATHAM STEEL RECTANGLE 90DEG 16-0 x 32-0

| | | | | |
|------------------|----------------|--------|------------------|--------------|
| 42" STEEL PANELS | PERIMETER: | 96'-0" | VOLUME (US Gal): | 16800 |
| DWG#: | SURFACE (ft²): | 512 | VOLUME (Liters): | 63600 |
| 2020-SPL-75012 | LINER (ft²): | 512 | DATE: | 10/22/2020 |
| KIT#: | COVER (ft²): | 612 | DSR: | |
| CUSTOMKIT | | | SCALE: | 1/8" = 1'-0" |



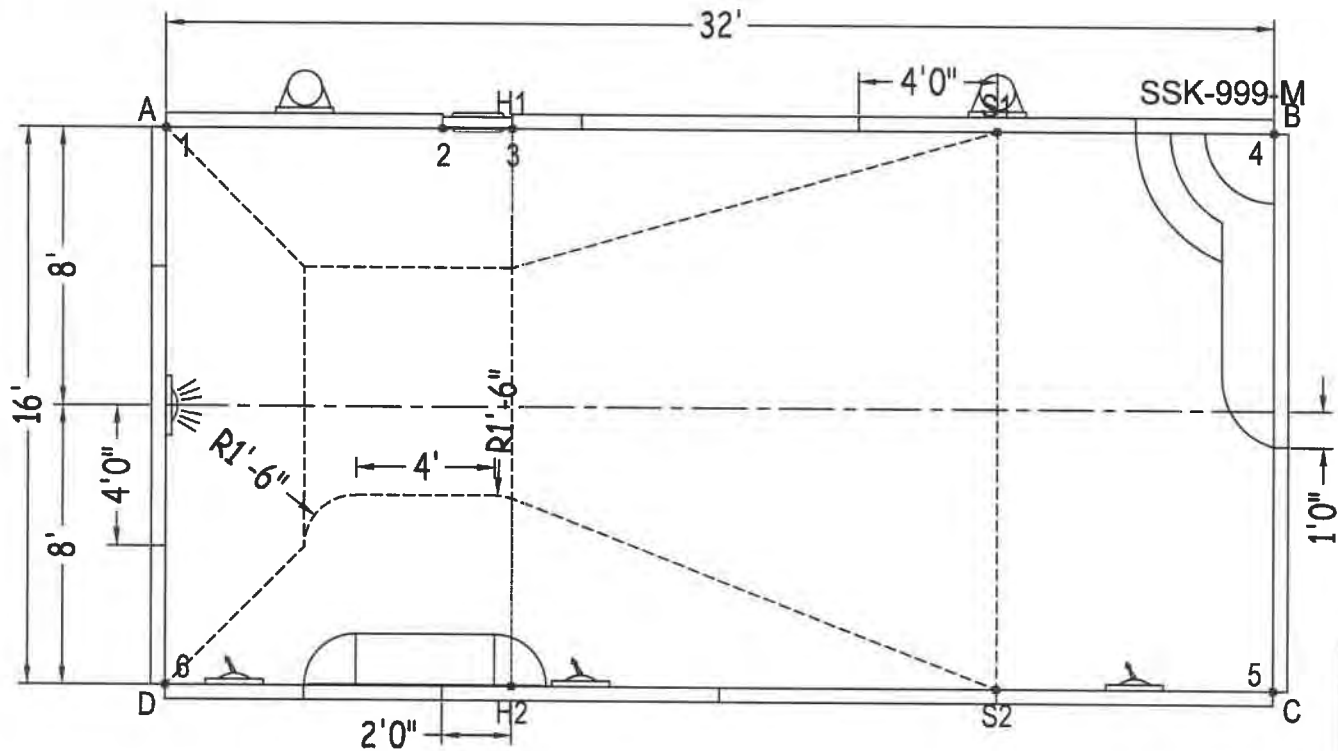
DIVING/SLIDING EQUIPMENT SHALL BE DESIGNED FOR SWIMMING POOLS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE DIVING/SLIDING EQUIPMENT MANUFACTURER'S SPECIFICATIONS. PLEASE CONTACT THE DIVING/SLIDING EQUIPMENT MANUFACTURER FOR THEIR SPECIFICATIONS.

CUSTOMER: BAYSTATE - CAMBRIDGE MA
JOB NAME: SWIM POOL SPA DESIGN/KATORI

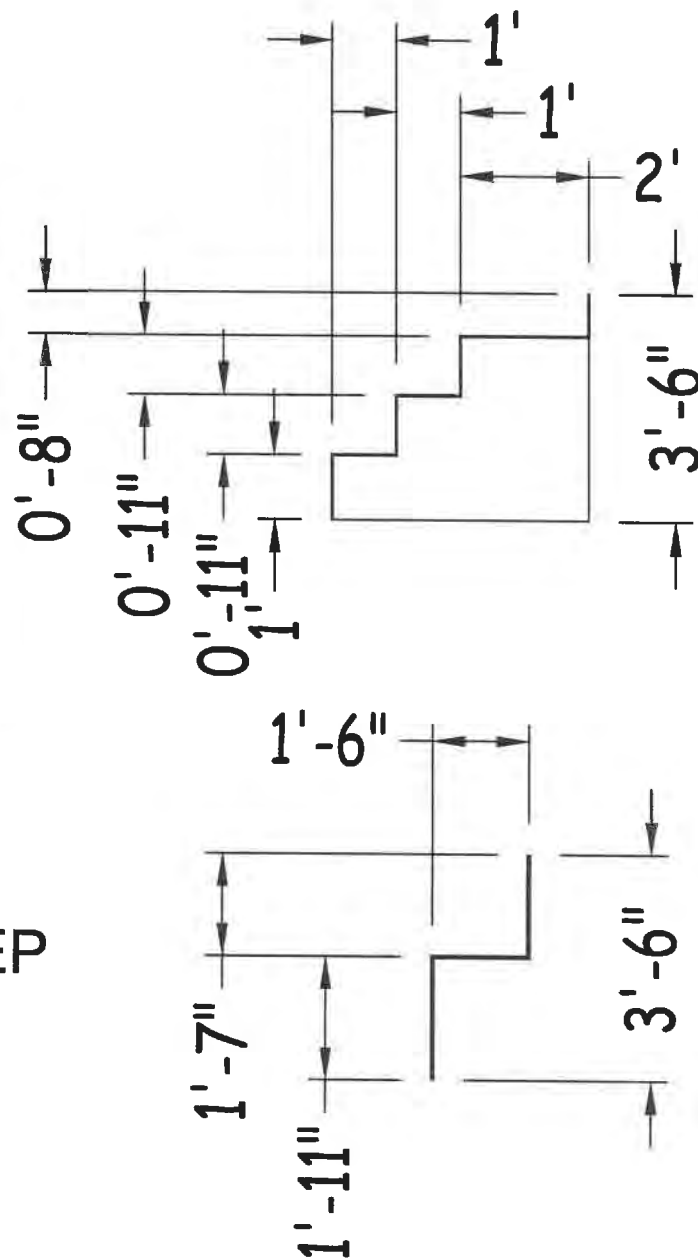
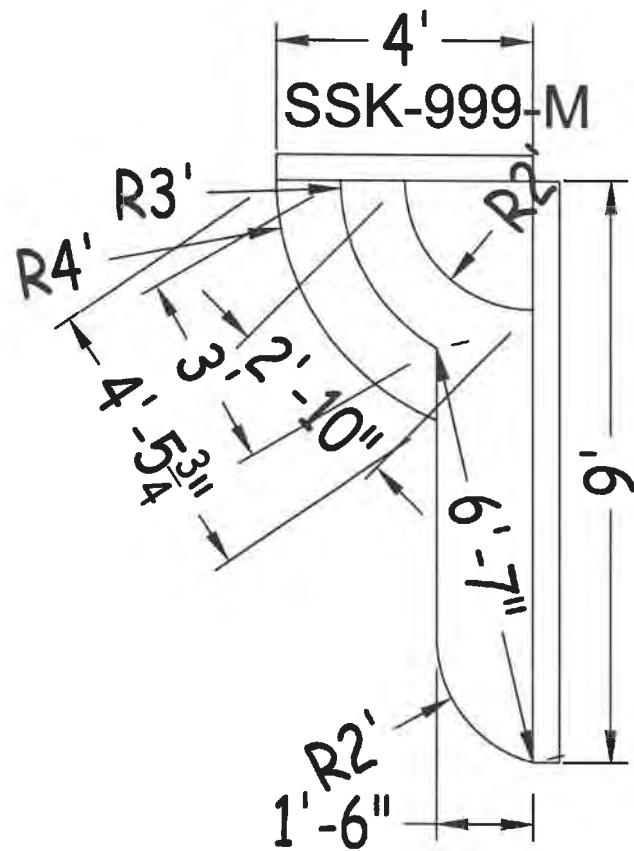
ALL ASPECTS OF THIS DRAWING COMPLIES WITH ANSI/APSP/ICC-5 2011 AND 2015 ISPS

| Diagonals | 3 to 6 | 18'-10 1/2" |
|-----------|-------------|-------------------|
| S1 to S2 | 16'-0" | 4 to 5 16'-0" |
| H1 to H2 | 16'-0" | 4 to 6 35'-9 1/4" |
| S1 to H1 | 14'-0" | 5 to 6 32'-0" |
| S2 to H2 | 14'-0" | |
| S1 to H2 | 21'-3" | |
| H1 to S2 | 21'-3" | |
| 1 to 2 | 8'-0" | |
| 1 to 3 | 10'-0" | |
| 1 to 4 | 32'-0" | |
| 1 to 5 | 35'-9 1/4" | |
| 1 to 6 | 16'-0" | |
| 2 to 3 | 2'-0" | |
| 2 to 4 | 24'-0" | |
| 2 to 5 | 28'-10 1/4" | |
| 2 to 6 | 17'-10 3/4" | |
| 3 to 4 | 22'-0" | |
| 3 to 5 | 27'-2 1/2" | |

| Part number | Description | QTY |
|-----------------|----------------------------------|-----|
| ST0960002X | 8' | |
| ST0960002* | 8' SKIMMER | |
| ST0960002* | 8' RETURN | |
| ST0960002* | 8' LIGHT | |
| ST0840002X | 7' | |
| ST0480001X | 4' | |
| ST0480001* | 4' RETURN | |
| ST0240000X | 2' | |
| SSK-DSWCBNST084 | DROP-IN BENCH | |
| Brace | Brace | 1 |
| IPC-AB90 | CONNECTOR CNR ANGLE 90D 42" | |
| IPC-STKPK25 | REBAR STAKE 18" 25PC | |
| IPC-HDWSTRT150 | BOLT STR 3/8-16X1" C/W NUT 150PC | |
| ST2002 | THICKSHEET LADDER 2' | |
| SSK-999-M | CUSTOM STEP | |

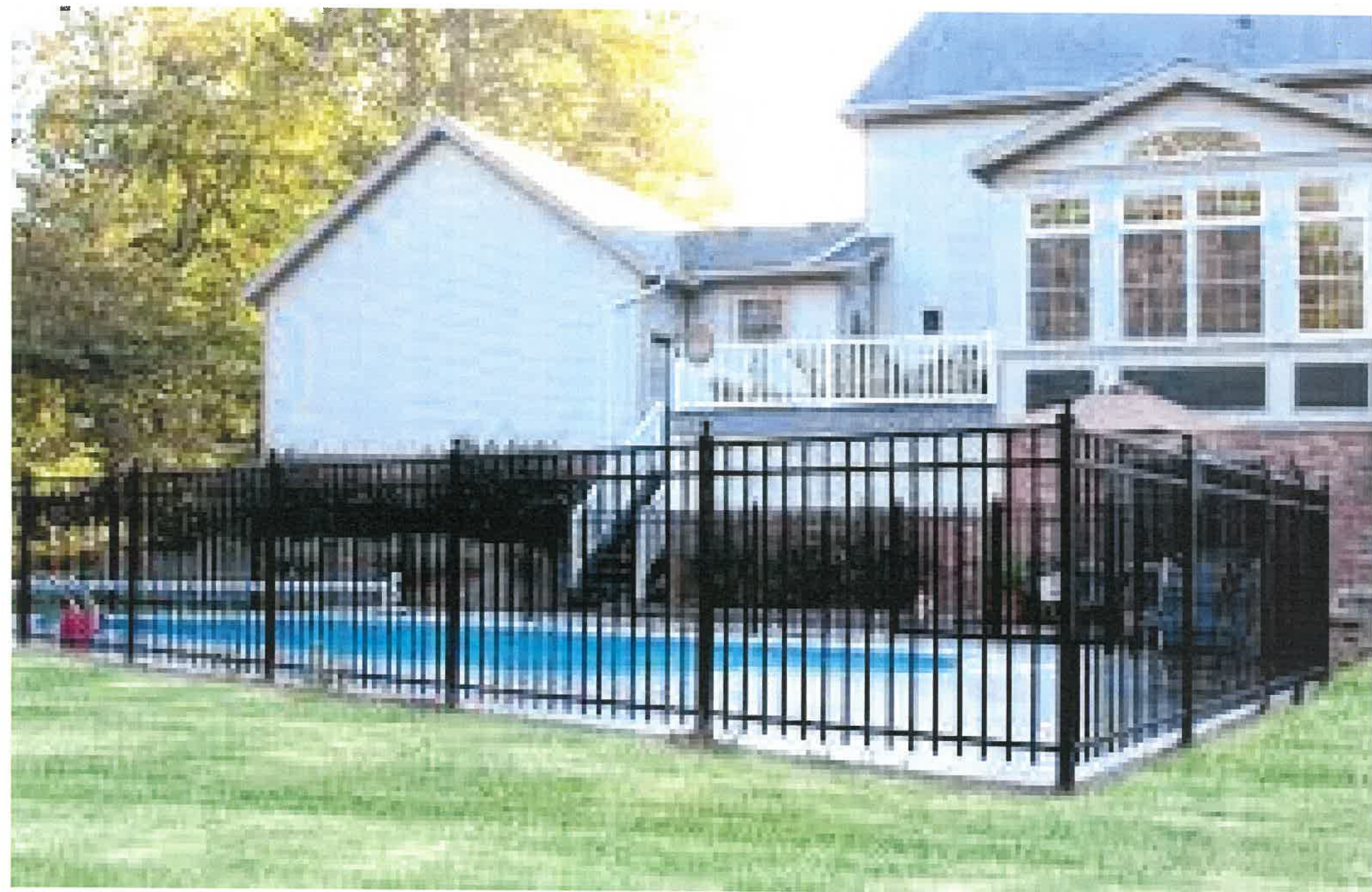


| | A | B | C | D |
|----|-------------|-------------|-------------|-------------|
| 1 | 0" | 32'-0" | 35'-9 1/4" | 16'-0" |
| 2 | 8'-0" | 24'-0" | 28'-10 1/4" | 17'-10 3/4" |
| 3 | 10'-0" | 22'-0" | 27'-2 1/2" | 18'-10 1/2" |
| 4 | 32'-0" | 0" | 16'-0" | 35'-9 1/4" |
| 5 | 35'-9 1/4" | 16'-0" | 0" | 32'-0" |
| 6 | 16'-0" | 35'-9 1/4" | 32'-0" | 0" |
| S2 | 28'-10 1/4" | 17'-10 3/4" | 8'-0" | 24'-0" |
| S1 | 24'-0" | 8'-0" | 17'-10 3/4" | 28'-10 1/4" |
| H2 | 18'-10 1/2" | 27'-2 1/2" | 22'-0" | 10'-0" |
| H1 | 10'-0" | 22'-0" | 27'-2 1/2" | 18'-10 1/2" |
| A | - | 32'-0" | 35'-9 1/4" | 16'-0" |



CUSTOM CLOSED TOP STEP
 PERIMETER 13'
 AREA 19.46 SQ.FT.





Town of Barnstable
Old King’s Highway Historic District Committee
DRAFT MINUTES
Wednesday, September 23, 2020, 6:30pm

To all persons deemed interested or affected by the Town of Barnstable's Old King’s Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing was held by remote participation via Zoom Meetings, ID # 915 7845 124, on the following application:

| | |
|------------------------------|-------------|
| Paul Richard, Chair | Present |
| Carrie Bearse, Clerk | Absent |
| George Jessop, AIA | Absent |
| Bett McCarthy | Present |
| Lesley Wallace | Present |
| Jeffrey Goldstein, Alternate | Absent |
| Building Inspector | Jeff Carter |

A quorum being met, Chair Richard called the hearing to order at 6:30 pm. The Chair explained the hearing and appeal process and invited the public to address the Committee and view the plans of interest when the application is called.

APPLICATIONS

Duenas, Terry & Susan, 690 Cedar Street, West Barnstable, Map 109, Parcel 015/001, built 1994

Replace front clapboard siding with vinyl siding – color CertainTeed Monogram Pacific Blue; replace windows

Represented by: Terry Duenas

Public comment: None

Duenas is proposing to replace existing clapboards with grey-blue vinyl siding. He also proposed to replace the existing windows in-kind (six over six grills).

Chair confirmed the grills will be between the glass. Chair felt that given the location of this house as well as its distance from the road, he felt the vinyl siding was appropriate. Chair confirmed with siding will be non-shiny wood grain look with no j-channels.

Wallace concurred with the Chair Richard; location and wood grain look was appropriate.

Chair reiterated that the use of j-channels would not be appropriate.

Due to the location of the property, proximity of the house from the street and the wood grain look of the siding, McCarthy felt this project was appropriate.

Chair Richard called for public comment. Hearing none, Chair asked for a motion.

Motion duly made by McCarthy, seconded by Wallace to Approve the Certificate of Appropriateness (Exhibit A) for Duenas, Terry & Susan, 690 Cedar Street, West Barnstable, Map 109, Parcel 015/001, built 1994 to replace front clapboard siding with vinyl siding – color CertainTeed Monogram Pacific Blue; replace windows; noting there will be no j-channels for the vinyl siding. So voted: aye, unanimous

VanDuzer, Kerri & Chris, 281 Commerce Road, Barnstable, Map 318, Parcel 011/001, built 1952

Replace windows on front of house; same grill pattern with grills between the glass

Represented by: Chris VanDuzer

Public comment: None

Mr. VanDuzer described the project. Replacing windows with same size and grill pattern with grills between the glass; azek trim.

Chair Richard felt the project was appropriate as did Wallace, McCarthy.

Chair Richard called for public comment. Hearing none, Chair asked for a motion.

Motion duly made by McCarthy, seconded by () to Approve the Certificate of Appropriateness (Exhibit B) for VanDuzer, Kerri & Chris, 281 Commerce Road, Barnstable, Map 318, Parcel 011/001, built 1952, Replace windows on front of house; same grill pattern with grills between the glass as indicated on the plans submitted. So voted: aye, unanimous

Munsell, David & Diane, 3074 Main Street, Barnstable, Map 279, Parcel 035/000, Daniel Davis House built c.1739, contributing structure in the Old King's Highway Historic District

Replace glass storm panels with Marvin Integrity Casement (6) and replace 4 sliding windows on closed porch on west elevation; no change in openings; install 4" white aluminum gutters and galvanized downspouts on porch to match house

Represented by: Diane & David Munsell

Public comment: None

Mr. Munsell described the project. Replacing storm panels with casement windows, he also proposed to replace 4 sliding windows and remove and replace the gutters and downspouts.

Chair Richard confirmed there will be little change if any.

Chair Richard called for public comment. Hearing none, Chair asked for a motion.

Motion duly made by McCarthy, seconded by Wallace to Approve the Certificate of Appropriateness (Exhibit C) for Munsell, David & Diane, 3074 Main Street, Barnstable, Map 279, Parcel 035/000, Daniel Davis House built c.1739, contributing structure in the Old King's Highway Historic District Replace glass storm panels with Marvin Integrity Casement (6) and replace 4 sliding windows on closed porch on west elevation; no change in openings; install 4" white aluminum gutters and galvanized downspouts on porch to match house. So voted: aye, unanimous

Morozova, Ekaterina, 2400 Meetinghouse Way, West Barnstable, Map 155, Parcel 045, Reverend Enoch Pratt House, built 1808, contributing structure in the West Barnstable Village Historic District

Install picket style fencing at either side of the driveway apron; fencing to be constructed of natural wood painted white; to include four columns (2) 18"x56" & (2) 18"x92"; lights to be mounted on two of the posts

Represented by: Ion Bulmaga

Public comment: None

Ion described the project; propose to install picket fence between two columns, one on each side of the driveway entrance. All materials will be wood and painted white.

Chair Richard felt the project was appropriate.

Wallace felt the project was appropriate given this structure is stately. McCarthy concurred.

Chair Richard called for public comment. Hearing none, Chair asked for a motion.

Motion duly made by McCarthy, seconded by Wallace to Approve the Certificate of Appropriateness (Exhibit D) for Morozova, Ekaterina, 2400 Meetinghouse Way, West Barnstable, Map 155, Parcel 045, Reverend Enoch Pratt House, built 1808, contributing structure in the West Barnstable Village Historic District Install picket style fencing at either side of the driveway apron; fencing to be constructed of natural wood painted white; to include four columns (2) 18"x56" & (2) 18"x92"; lights to be mounted on two of the posts as indicated on the plans submitted. So voted: Aye, unanimous

Fratlicelli, Marian, 80 George Street, Barnstable, Map 319, Parcel 072/000, built 1937

Remove and replace 8 windows and 2 doors; add one new window in kitchen

Represented by: Steve Devlin

Public comment: None

Devlin described the project – mostly interior renovation that affects the exterior windows. He proposes to replace 8 windows and 2 doors plus add one window.

Chair Richard, Wallace, and McCarthy all felt the project was appropriate.

Chair Richard called for public comment. Hearing none, Chair asked for a motion.

Motion duly made by McCarthy, seconded by () to Approve the Certificate of Appropriateness (Exhibit E) for Fratlicelli, Marian, 80 George Street, Barnstable, Map 319, Parcel 072/000, built 1937 Remove and replace 8 windows and 2 doors; add one new window in kitchen as indicated on the plans submitted. So voted: aye, unanimous

Musnick, Michael, 4096 Main Street, Barnstable, Map 336, Parcel 054, John Lucy Easterbrook House, built 1750

Replace windows with 9 over 6, wood exterior grills; replace clapboard and shingles, paint clapboard and trim

Represented by: Michael Musnick

Public comment: None

Chair confirmed the windows will be replaced with 9 over 6 grill pattern. Chair confirmed the grills will be interior and exterior affixed. Chair felt the windows were appropriate. Chair confirmed that the clapboard will be painted yellow.

There was a discussion regarding the paint colors. Benjamin Moore Colonial Williamsburg and Coffeehouse Ochre, door to be Essex Green.

Chair Richard, Wallace, and McCarthy are all in favor of the project.

Chair Richard called for public comment. Hearing none, Chair asked for a motion.

Motion duly made by McCarthy, seconded by Wallace to Approve the Certificate of Appropriateness (Exhibit F) for Musnick, Michael, 4096 Main Street, Barnstable, Map 336, Parcel 054, John Lucy Easterbrook House, built 1750 Replace windows with 9 over 6, wood exterior grills; replace clapboard and shingles, paint clapboard and trim as indicated on the plans submitted, the door will be Essex Green and the house will be painted Benjamin Moore Coffeehouse Ochre. So voted: Aye, unanimous

CERTIFICATE OF EXEMPTION

Palladini, Paul, 26 Spyglass Hill Road, Cummaquid, Map 355, Parcel 002/003

Construct an 8ft X 6.5ft addition to existing storage shed

Chair Richard commented that this shed is in the rear of the home and not visible.

Motion duly made by McCarthy, seconded by Wallace, to Approve the Certificate of Exemption (Exhibit G) for Palladini, Paul, 26 Spyglass Hill Road, Cummaquid, Map 355, Parcel 002/003 Construct an 8ft X 6.5ft addition to existing storage shed as indicated on the plans submitted. So voted: aye, unanimous

Stewart, Ellen, 20 Cedar Street, West Barnstable, Map 130, Parcel 014/002

Construct in-ground pool and fence; all in the rear

Chair Richard added that the project was in the rear and appropriate; Wallace and McCarthy concurred.

Motion duly made by McCarthy, seconded by Wallace, to Approve the Certificate of Exemption (Exhibit H) Stewart, Ellen, 20 Cedar Street, West Barnstable, Map 130, Parcel 014/002 Construct in-ground pool and fence; all in the rear as indicated on the plans submitted. So voted: aye, unanimous

Riley, Megan & Andy, 20 Church Street, West Barnstable, Map 154, Parcel 004

Remove existing window, add three new windows; not visible

Chair confirmed the project is in the rear and not visible.

Motion duly made by McCarthy, seconded by Wallace, to Approve the Certificate of Exemption (Exhibit I) for Riley, Megan & Andy, 20 Church Street, West Barnstable, Map 154, Parcel 004 Remove existing window, add three new windows; not visible as indicated on the plans submitted. So voted: aye, unanimous

Mosca, Lyle, 135 Cedar Street, West Barnstable, Map 130, Parcel 022

Installation of swimming pool and fence; change of window placement (all in the rear and sides, not visible)

Chair Richard confirmed the project was not visible.

Motion duly made by McCarthy, seconded by Wallace, to Approve the Certificate of Exemption (Exhibit J) for Mosca, Lyle, 135 Cedar Street, West Barnstable, Map 130, Parcel 022 Installation of swimming pool and fence; change of window placement (all in the rear and sides, not visible) as indicated on the plans submitted. So voted: aye, unanimous

MINOR MODIFICATION

Richard, Paul, 4022 Main Street, Cummaquid, Map 336, Parcel 044/000, Allen Howes House, built prior to 1844, contributing structure in the Old King's Highway Historic District

Change 2 panels below 9 light above door to 15 light French door; not visible

Wallace and McCarthy both confirm the project is not visible.

Motion duly made by McCarthy, seconded by Wallace, to Approve the Minor Modification (Exhibit K) for Richard, Paul, 4022 Main Street, Cummaquid, Map 336, Parcel 044/000, Allen Howes House, built prior to 1844, Contributing structure in the Old King's Highway Historic District Change 2 panel below 9 light above door to 15 light French door; not visible as indicated on the form submitted. So voted: Aye, Wallace & McCarthy; Richard abstained.

Mailloux, Diane, application submitted by tenant, itWORKS, Inc., 1611 Main Street, West Barnstable, Map 197, Parcel 043, Alexander Michelson Stone Garage, built 1920, inventoried

Change color on the previously approved sign to blue background with white letters

Chair commented that the colors were appropriate. Wallace prefers the new colors as does McCarthy.

Motion duly made by McCarthy, seconded by Wallace, to Approve the Minor Modification (Exhibit L) for Mailloux, Diane, application submitted by tenant, itWORKS, Inc., 1611 Main Street, West Barnstable, Map 197, Parcel 043, Alexander Michelson Stone Garage, built 1920, inventoried Change color on the previously approved sign to blue background with white letters as indicated on the form submitted. So voted: Aye, unanimous

OTHER - None

APPROVAL OF MINUTES: None

Having no further business before this Committee, motion to adjourn is moved by McCarthy, seconded by Wallace at 7:12pm.

Respectfully Submitted,

Erin K. Logan
Administrative Assistant/recording secretary

| | | | |
|-----------|--------------------------------|------|-------------|
| Exhibit A | Certificate of Appropriateness | File | 015/001/000 |
| Exhibit B | Certificate of Appropriateness | File | 011/002/000 |
| Exhibit C | Certificate of Appropriateness | File | 279/035/000 |
| Exhibit D | Certificate of Appropriateness | File | 155/045/000 |
| Exhibit E | Certificate of Appropriateness | File | 319/072/000 |
| Exhibit F | Certificate of Appropriateness | File | 336/054/000 |
| Exhibit G | Certificate of Exemption | File | 335/002/003 |
| Exhibit H | Certificate of Exemption | File | 130/014/002 |
| Exhibit I | Certificate of Exemption | File | 154/004/000 |
| Exhibit J | Certificate of Exemption | File | 130/022/000 |
| Exhibit K | Minor Modification | File | 336/044/000 |
| Exhibit L | Minor Modification | File | 130/022/000 |

Town of Barnstable
Old King's Highway Historic District Committee
DRAFT MINUTES
Wednesday, October 28, 2020, 6:30pm

To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing was held by remote participation via Zoom Meetings, ID # 915 7845 124, on the following application:

| | |
|------------------------------|----------------|
| Paul Richard, Chair | Present |
| Carrie Bearse, Clerk | Present |
| George Jessop, AIA | Present |
| Bett McCarthy | Present |
| Lesley Wallace | Present |
| Jeffrey Goldstein, Alternate | Absent |
| Building Inspector | Jeffrey Lauzon |

A quorum being met, Chair Richard called the hearing to order at 6:30 pm. The Chair explained the hearing and appeal process and invited the public to address the Committee and view the plans of interest when the application is called.

APPLICATIONS

Barnstable, County of, application submitted on behalf of AT&T, 3195 Main Street, Barnstable, Map 299, Parcel 024/000

Addition of 3 antennas; replacement of 6 antennas; replacement of mount and upgrade equipment of existing wireless facility located at the southeast corner of the Barnstable County Complex

Represented by: Timothy Greene

Public comment: None

Greene described the project and advised that AT&T will be replacing 6 existing antenna and adding three additional antenna.

Chair Richard confirmed with Greene that the three new antenna are being added on to existing towers and will be minimally visible. Chair Richard felt the project was appropriate.

Committee members Jessop, Bearse, Wallace and McCarthy expressed that the project was appropriate.

Chair Richard called for public comment; seeing none, he called for a motion.

Motion duly made by Bearse, seconded by McCarthy to Approve the Certificate of Appropriateness (Exhibit A) Barnstable, County of, application submitted on behalf of AT&T, 3195 Main Street, Barnstable, Map 299, Parcel 024/000 Addition of 3 antennas; replacement of 6 antennas; replacement of mount and upgrade equipment of existing wireless facility located at the southeast corner of the Barnstable County Complex as indicated on the plans submitted. So voted: Aye, unanimous.

Murphy, Gary & Carolyn, 460 Church Street, West Barnstable, Map 176, Parcel 010/000, built 1998

Repaint front door and shutters to Modern Masters – Serene Blue or Modern Masters – Tranquil

Represented by: Carolyn Murphy

Public comment: None

Murphy described the project; she proposed to repaint the front door and shutters though the samples she submitted are no longer available. She is hoping for Benjamin Moore Colonial Williamsburg and Historic Selections. Murphy would like to keep the new colors as close to the samples that were provided.

Chair Richard confirmed with Murphy that the materials (door and shutters) will match existing.

Chair Richard felt the dark blue color was appropriate. Chair Richard asked Murphy to submit her final paint colors for the record.

Jessop does not feel the turquoise is historic.

Bearse felt both colors are appropriate.

Wallace preferred the darker blue and would prefer the shutters and door match.

McCarthy also preferred the darker blue and would also prefer the shutters to match the door.

Chair Richard called for public comment. Seeing none he asked for a motion.

Motion duly made by Bearse, seconded by McCarthy to Approve the Certificate of Appropriateness (Exhibit B) Murphy, Gary & Carolyn, 460 Church Street, West Barnstable, Map 176, Parcel 010/000, built 1998 Repaint front door and shutters dark navy blue and a lighter blue for the door as indicated on the plans submitted. So voted: Aye, unanimous

Brown, David & Tara, 101 Deacon Court, Barnstable, Map 300, Parcel 061/000, built 2001

Construct new dormers and additions impacting all four elevations to include roof deck and new garage doors

Represented by: Kevin Warner of Fine Line Design & Kevin Boyer (Builder)

Public comment: None

Warner described the project; constructing dormers and a connector to the main structure.

Chair Richard confirmed the materials will match existing. He added that given the structure is located some distance off Deacon Court and most of the project will not be visible, he felt the project was appropriate.

Jessop confirmed with Warner that there will be a roof deck. Jessop added that the windows are appropriate.

Bearse felt the project was appropriate given materials will match existing and the location being off the beaten path.

Wallace felt he project was appropriate.

McCarthy felt the project was appropriate.

Motion duly made by Bearse, seconded by McCarthy to Approve the Certificate of Appropriateness (Exhibit C) Brown, David & Tara, 101 Deacon Court, Barnstable, Map 300, Parcel 061/000, built 2001 Construct new dormers and additions impacting all four elevations to include roof deck and new garage doors as indicated on the plans submitted. So voted: Aye, unanimous

MINOR MODIFICATION

Hearns, John & Maureen, 50 Merion Way, Barnstable/Cummaquid, Map 356, Parcel 006/000

Proposal to modify the Certificate of Appropriateness which was previously approved on October 16, 2019 – change design of garage door

Chair Richard reviewed the project and felt the proposed garage door was more appropriate. Members Jessop, Bearse, Wallace and McCarthy concurred.

Motion duly made by Bearse, seconded by McCarthy, to Approve the Minor Modification (Exhibit K) Hearns, John & Maureen, 50 Merion Way, Barnstable/Cummaquid, Map 356, Parcel 006/000 Proposal to modify the Certificate of Appropriateness which was previously approved on October 16, 2019 – change design of garage door as per the plans submitted. So voted: aye, unanimous

OTHER

Chair Richard checked in with McCarthy on how the process for Certificates of Exemptions was going. McCarthy replied that the process is going well.

APPROVAL OF MINUTES:

February 12, 2020

Chair Richard had an edit – correct “bridge” to “ridge”.

Bearse moved seconded by McCarthy to approve the minutes of February 12, 2020 as amended. So voted: Aye, unanimous.

February 26, 2020

Bearse moved seconded by McCarthy to approve the minutes of February 26, 2020 as amended. So voted: Aye, unanimous.

Having no further business before this Committee, motion to adjourn is moved by Bearse, seconded by McCarthy at 6:56pm.

Respectfully Submitted,

Erin K. Logan
Administrative Assistant/recording secretary

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| Exhibit A | Certificate of Appropriateness | File 299/024/000 |
| Exhibit B | Certificate of Appropriateness | File 176/010/000 |
| Exhibit C | Certificate of Appropriateness | File 300/061/000 |
| Exhibit D | Minor Modification | File 356/006/000 |
| Exhibit E | Meeting Minutes | Date February 12, 2020 |
| Exhibit F | Meeting Minutes | Date February 26, 2020 |

Town of Barnstable
Old King’s Highway Historic District Committee
DRAFT MINUTES
Wednesday, November 18, 2020, 6:30pm

To all persons deemed interested or affected by the Town of Barnstable's Old King’s Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing was held by remote participation via Zoom Meetings, ID # 990 8385 0629, on the following application:

| | |
|------------------------------|---------------|
| Paul Richard, Chair | Present |
| Carrie Bearse, Clerk | Present |
| George Jessop, AIA | Present |
| Bett McCarthy | Present |
| Lesley Wallace | Present |
| Jeffrey Goldstein, Alternate | Present |
| Building Inspector | Bob McKechnie |

A quorum being met, Chair Richard called the hearing to order at 6:30 pm. The Chair explained the hearing and appeal process and invited the public to address the Committee and view the plans of interest when the application is called.

APPLICATIONS

McKenzie-Betty, Keith & Margaret, application submitted by tenant Malka, Poria, 3280 Main Street, Barnstable, Map 299, Parcel 035, built 1930 Install 22” X 22” sign above door; install 1 hanging sign on existing ladder sign

Represented by: Rich Harrington

Public comment: None

The applicant described the project; two signs – one above the door and one hanging sign on the existing ladder sign.

Chair Richard called for public comment; seeing none, he called for a motion.

Motion duly made by Bearse, seconded by McCarthy to Approve the Certificate of Appropriateness (Exhibit A) McKenzie-Betty, Keith & Margaret, application submitted by tenant Malka, Poria, 3280 Main Street, Barnstable, Map 299, Parcel 035, built 1930 Install 22” X 22” sign above door; install 1 hanging sign on existing ladder sign as indicated on the plans submitted. So voted: Aye, unanimous

McCullough, Rachael, 56 Bursley Path, West Barnstable, Map 110, Parcel 025/005, vacant land
Construct new 2,300sqft single family home with attached 2-car garage

Represented by: None

Public comment: None

The applicant was not present. Chair Richard moved to continue review of this application to the next meeting noting we will need paint samples and a landscape plan.

Motion duly made by Bearse, seconded by McCarthy to Continue review of the Certificate of Appropriateness (Exhibit B) McCullough, Rachael, 56 Bursley Path, West Barnstable, Map 110, Parcel 025/005, vacant land Construct new 2,300sqft single family home with attached 2-car garage to the December 16, 2020 meeting. So voted: Aye, unanimous

Jensen, James, 353 Willow Street, West Barnstable, Map 131, Parcel 032/000, built 1971

Install 19 flush roof mounted solar panels on the front elevation; panels will be all black and arranged in a solid block on the main roof and one row along the ridge on the side roof

Represented by: Angela Hemmila of Solar Rising

Public comment: None

Hemmilia described the project; 19 roof mounted solar panels on the front elevation.

Chair Richard commented that a neighboring property has ground mounted solar panels and given the location he felt the project was appropriate. Bearse and Wallace concurred.

Chair Richard called for public comment; seeing none, he called for a motion.

Motion duly made by Bearse, seconded by McCarthy to Approve the Certificate of Appropriateness (Exhibit C) for Jensen, James, 353 Willow Street, West Barnstable, Map 131, Parcel 032/000, built 1971 Install 19 flush roof mounted solar panels on the front elevation; panels will be all black and arranged in a solid block on the main roof and one row along the ridge on the side roof as indicated on the plans submitted. So voted: aye, unanimous.

Freeman, Nancy & Mark, 44 Bragg's Lane, Barnstable, Map 299, Parcel 058/000, built 1780

Construct 16'X24' shed with loft space; white cedar siding, asphalt roof

Represented by: Nancy & Mark Freeman

Public comment: None

Freeman described the project. They propose to construct a one story shed with loft space.

Chair Richard, Bearse, Wallace and Goldstein felt the project was appropriate.

Chair Richard called for public comment; seeing none, he called for a motion.

Motion duly made by Bearse, seconded by McCarthy to Continue review of the Certificate of Appropriateness (Exhibit D) Freeman, Nancy & Mark, 44 Bragg's Lane, Barnstable, Map 299, Parcel 058/000, built 1780 Construct 16'X24' shed with loft space; white cedar siding, asphalt roof as indicated on the plans submitted. So voted: aye, unanimous.

Kennedy, Robert E., 3885 Main Street, Barnstable, Map 335, Parcel 052/000, built 1953

Install 18'X36' in-ground swimming pool with white cedar panel fence

Represented by: Steve Sienna

Public comment: None

Sienna described the project; a pool and fence in the rear of the property.

Chair Richard felt the project was appropriate and confirmed with Sienna that the trellis will be 4" painted white.

Bearse, Wallace, McCarthy, Jessop and Goldstein felt the project was appropriate.

Chair Richard called for public comment; seeing none, he called for a motion.

Motion duly made by Bearse, seconded by McCarthy to Continue review of the Certificate of Appropriateness (Exhibit F) Kennedy, Robert E., 3885 Main Street, Barnstable, Map 335, Parcel 052/000, built 1953 Install 18'X36' in-ground swimming pool with white cedar panel fence as indicated on the plans submitted. So voted: aye, unanimous.

McCullough, Timothy, 3861 Main Street, Barnstable, Map 335, Parcel 008/002, built 1958

Construct a two-car garage addition including breezeway; this iteration is slightly smaller than the project approved in June 2020

Represented by: Timothy McCullough

Public comment: none

McCullough described the project; two-car garage addition including breezeway that will be slightly smaller than the plans approved in June of 2020.

Chair Richard felt the project was appropriate.

Bearse confirmed with McCullough that the window grills will be applied exterior on the front.

Jessop, McCarthy, Wallace and Goldstein all felt the project was appropriate.

Chair Richard called for public comment; seeing none, he called for a motion.

Motion duly made by Bearse, seconded by McCarthy to Approve the Certificate of Appropriateness (Exhibit G) McCullough, Timothy, 3861 Main Street, Barnstable, Map 335, Parcel 008/002, built 1958 Construct a two-car garage addition including breezeway with applied exterior grills on the addition; this iteration is slightly smaller than the project approved in June 2020 as indicated on the plans submitted. So voted: Aye, unanimous.

MINOR MODIFICATION

Hearns, John & Maureen, 50 Merion Way, Barnstable/Cummaquid, Map 356, Parcel 006/000

Proposal to modify the Certificate of Appropriateness which was previously approved on October 16, 2019 – Add dormer to rear of garage

Chair Richard commented that the dormer will not be visible.

Motion duly made by Bearse, seconded by McCarthy, to Approve the Minor Modification (Exhibit K) Hearns, John & Maureen, 50 Merion Way, Barnstable/Cummaquid, Map 356, Parcel 006/000 Proposal to modify the Certificate of Appropriateness which was previously approved on October 16, 2019 – change design of garage door as per the plans submitted. So voted: aye, unanimous

OTHER

Having no further business before this Committee, motion to adjourn is moved by Bearse, seconded by Wallace.

Respectfully Submitted,

Erin K. Logan
Administrative Assistant/recording secretary

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| Exhibit A | Certificate of Appropriateness | File 299/035/000 |
| Exhibit B | Certificate of Appropriateness | File 110/025/005 |
| Exhibit C | Certificate of Appropriateness | File 131/032/000 |
| Exhibit D | Certificate of Appropriateness | File 299/058/000 |
| Exhibit F | Certificate of Appropriateness | File 335/052/000 |
| Exhibit G | Certificate of Appropriateness | File 335/008/002 |
| Exhibit D | Minor Modification | File 356/006/000 |